

**CITY OF BAYPORT
CITY COUNCIL MEETING
Council Chambers, 294 North 3rd Street
July 6, 2015**

REGULAR MEETING

6:00 P.M.

CALL TO ORDER

ROLL CALL (St. Ores, Carlson, Goldston, Hanson, McGann)

APPROVAL OF AGENDA

PROCLAMATIONS, COMMENDATIONS, PETITIONS, ANNOUNCEMENTS

1. June recycling award recipient is Sandy Fennern who will receive \$30.00 for her recycling efforts, with funding made possible by a grant from Washington County
2. Letter of Appreciation for Police Officer Quinn Willmarth

OPEN FORUM

The open forum is a portion of the meeting to address the City Council on subjects that are not a part of the meeting agenda. The City Council may take action or reply at the time of the statement or may give direction to staff regarding investigation of the concerns expressed. *A total of 15 minutes is allotted for the public comment period (not 15 minutes per person)*

- 1.
- 2.

CONSENT AGENDA

TAB #

Consider a resolution adopting items 1 through 14

- | | |
|--|----|
| 1. June 1, 2015 City Council regular meeting minutes | 1 |
| 2. June payables and receipts (check numbers 5812-5973) | 2 |
| 3. June building, plumbing and mechanical permits report | 3 |
| 4. Donation of \$200.00 from Amy Stelling and Mark Litchfield to the Fire Department | 4 |
| 5. Pay application #4 from Siegfried Construction for Perro Park Phase 2 site improvements | 5 |
| 6. Hiring of Nicholas Schipp as a part-time police officer and PERA declaration
<i>(Resolution 15-___)</i> | 6 |
| 7. Special event application from Mary Ostertag for the Mark Ostertag Memorial 5K Walk/Run on August 23, 2015 | 7 |
| 8. Special event application from Red Line Bass Trail/Sportek LLC for a bass fishing contest at Lakeside Park on July 11 and 12, 2015 | 8 |
| 9. Renewal of 2:00 a.m. closing liquor license for Woody's Bar and Grill, 109 3 rd Street North | 9 |
| 10. Pay application #1 from Miller Excavating for Fire Hall Utility Extension and Turn Lane Construction | 10 |
| 11. Authorization to access Minnesota Government Access Accounts for electronic court records and documents <i>(Resolution 15-___)</i> | 11 |
| 12. Pay application #1 from Miller Excavating for Fire Hall Grading and Excavation activities | 12 |
| 13. Removal of Outlot P from the definition of protected property under a conservation easement with the Minnesota Land Trust <i>(Resolution 15-___)</i> | 13 |
| 14. Resignation of Library Director Mark Blando effective July 20, 2015 and authorization to initiate hiring process for the position | 14 |

SWEARING IN OF POLICE OFFICER NICHOLAS SCHIPP

PUBLIC HEARINGS

- 1. Consider a resolution adopting a modification to the Tax Increment Finance Plan for Tax Increment Finance District No. 1 15

UNFINISHED BUSINESS

- 1. Consider additional building options for the new Fire Hall 16

NEW BUSINESS

- 1. Consider a resolution approving a final plat for Phase III-B of the Inspiration development 17
- 2. Consider adopting a tax exempt governmental bond post issuance compliance policy 18

CITY COUNCIL LIAISON REPORTS

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CITY COUNCIL ITEMS AND ANNOUNCEMENTS

- 1.
- 2.

ADJOURNMENT



Bayport Police Department
294 North 3rd Street
Bayport, Minnesota 55003
Phone: 651-275-4400
Fax: 651-275-4411

Laura Eastman
Chief of Police

LETTER OF APPRECIATION

Officer Quinn Willmarth

I wish to formally recognize your professional response while assisting the Stillwater Police Department with a call of a suicidal male in March 2015. The male was threatening suicide with a firearm. The male was known to law enforcement and is suffering from Post Traumatic Stress Disorder from his time in the Armed Forces.

When officers arrived and attempted contact with the male party, they were met with hostility. The male party hung up the phone and refused to speak with officers. Knowing the male party was a veteran, Stillwater Sergeant Bruchu accepted your offer to try and talk with the male. Having proudly served in the United States Marine Corps, you were able to bridge the gap that other officers were not able achieve. You were able to get the male to not only engage in a conversation but eventually exit the house without incident. He then agreed to be transported to the Veteran's Hospital for assistance.

It was your understanding and compassion towards veterans and the struggles they face that gave you the tools to de-escalate the situation. You have sought out training to give you a greater understanding of the best philosophies for dealing with veterans in crisis. Your own experience, along with your interest in Veterans in Crisis training, is what allowed you to resolve this incident.

It is with gratitude and appreciation that I applaud you for your demonstration of commitment to the Bayport Police Department, Bayport's citizens and those in surrounding communities.

Sergeant Jay Jackson

RESOLUTION NO. 15-

**EXTRACT OF THE CITY COUNCIL MEETING MINUTES OF THE CITY OF BAYPORT,
WASHINGTON COUNTY, MINNESOTA HELD JULY 6, 2015**

Pursuant to due call and notice therefore, a regular meeting of the City Council of the City of Bayport, Minnesota was duly held at Bayport City Hall in said municipality on the 6th day of July 2015 at 6:00 p.m.

The following members were present:

The following members were absent:

Councilmember _____ introduced the following resolution and moved its adoption:

**A RESOLUTION APPROVING CONSENT AGENDA ITEMS 1-14 FROM THE
JULY 6, 2015 CITY COUNCIL AGENDA**

1. June 1, 2015 City Council regular meeting minutes
2. June payables and receipts (check numbers 5812-5973)
3. June building, plumbing and mechanical permits report
4. Donation of \$200.00 from Amy Stelling and Mark Litchfield to the Fire Department
5. Pay application #4 from Siegfried Construction for Perro Park Phase 2 site improvements
6. Hiring of Nicholas Schipp as a part-time police officer and PERA declaration (*Resolution 15-__*)
7. Special event application from Mary Ostertag for the Mark Ostertag Memorial 5K Walk/Run on August 23, 2015
8. Special event application from Red Line Bass Trail/Sportek LLC for a bass fishing contest at Lakeside Park on July 11 and 12, 2015
9. Renewal of 2:00 a.m. closing liquor license for Woody's Bar and Grill, 109 3rd Street North
10. Pay application #1 from Miller Excavating for Fire Hall Utility Extension and Turn Lane Construction
11. Authorization to access Minnesota Government Access Accounts for electronic court records and documents (*Resolution 15-__*)
12. Pay application #1 from Miller Excavating for Fire Hall Grading and Excavation activities
13. Removal of Outlot P from the definition of protected property under a conservation easement with the Minnesota Land Trust (*Resolution 15-__*)
14. Resignation of Library Director Mark Blando effective July 20, 2015 and authorization to initiate hiring process for the position

The motion for adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon roll call being taken thereon, the following vote via voice:

Susan St. Ores –
Connie Carlson –
Michele Hanson –

Dan Goldston –
Patrick McGann –

WHEREUPON, said Resolution was declared duly passed and adopted and signed by the Mayor and attested by the City Administrator. Passed by the City Council, City of Bayport, Washington County, Minnesota, this 6th day of July 2015.

ATTEST:

Logan Martin, City Administrator

Susan St. Ores, Mayor

**CITY OF BAYPORT
CITY COUNCIL MEETING MINUTES
COUNCIL CHAMBERS
June 1, 2015
6:00 P.M.**

CALL TO ORDER

Pursuant to due call and notice, Deputy Mayor Carlson called the regular City Council meeting of June 1, 2015 to order at 6:00 p.m., and asked Councilmembers, staff and the audience to join in pledging allegiance to the American Flag.

ROLL CALL

Members Present: Councilmembers Connie Carlson, Michele Hanson and Patrick McGann

Members Absent: Mayor Susan St. Ores and Councilmember Dan Goldston

Staff Present: City Administrator Logan Martin, Police Chief Laura Eastman, Public Works Supervisor Mel Horak, City Engineer John Parotti, City Attorney Andy Pratt, Fire Chief Mark Swenson, and Assistant City Administrator/Planner Sara Taylor

APPROVAL OF AGENDA

It was moved by Councilmember McGann and seconded by Councilmember Hanson to approve the June 1, 2015 City Council agenda. Motion carried 3-0.

PROCLAMATIONS/COMMENDATIONS/PETITIONS/ANNOUNCEMENTS

1. The May recycling award recipient is Richard O'Brien who will receive \$30.00 for his recycling efforts, with funding made possible by a grant from Washington County.

OPEN FORUM

1. Diane McGann and Lynn Vernon, Washington County Master Gardeners, highlighted the second annual *Bayport in Bloom* Front Entry Garden Contest. The judging categories will include planters and pots this year and last year's winners are not eligible for the current contest. Nomination forms are due July 14, with judging on July 18. Forms are available at City Hall, Bayport Public Library and on the website, www.washingtoncountyinbloom.org.

CONSENT AGENDA

Deputy Mayor Carlson read items 1-8 on the consent agenda.

1. May 4, 2015 City Council regular meeting minutes
2. May payables and receipts (check numbers 005752-005852)
3. May building, plumbing and mechanical permits report
4. Renewal of 2:00 a.m. closing liquor license for Mallards LLC at 101 5th Avenue South
5. Central St. Croix Valley Joint Cable Communications Commission operating and capital expenditure budget for 2015
6. Special event application from Bayport American Legion for flag disposal event at Perro Park on June 14, 2015
7. Donation of \$100.00 from Mary and Paul Goulette for hanging flower basket program
8. Reschedule a public hearing for the proposed adoption of a modification to the Tax Increment Finance Plan for Tax Increment Finance District No. 1 to the July 6, 2015 City Council meeting

Councilmember Hanson introduced the following resolution and moved its adoption:

Resolution 15-16

**RESOLUTION APPROVING CONSENT AGENDA ITEMS 1-8 FROM THE
JUNE 1, 2015 CITY COUNCIL AGENDA**

The motion for adopting the foregoing resolution was duly seconded by Councilmember McGann and upon roll call being taken, the following voted via voice:

Connie Carlson – aye

Michele Hanson – aye

Patrick McGann – aye

PUBLIC HEARINGS

UNFINISHED BUSINESS

Consider proposals and adopting a resolution on the sale of General Obligation Capital Improvement Plan Bonds, Series 2015A: Administrator Martin said the city has been working with Springsted Inc. on the sale of bonds to fund approximately one third of the cost of the new Fire Hall project. The bond sale occurred this morning and Paul Steinman, Springsted Inc., reported on the results of the bond sale. Mr. Steinman distributed and reviewed the bid tabulation on the offering of \$1,955,000 in General Obligation Capital Improvement Bonds. A total of 25 underwriters participated in the bidding which resulted in four bids. The best bid was submitted by Northland Securities, Inc., with a true interest rate of 2.5338%, and staff recommended awarding the sale to the low bidder Northland Securities. As part of the bond process, Moody's Investors Service reaffirmed the city's rating as Aa3, which is an excellent rating for a smaller city. Administrator Martin added that based on the results of this bond sale, a decision will be made on proposed additions to the project at a special meeting in June or at the July City Council meeting.

Councilmember Hanson introduced the following resolution and moved its adoption:

Resolution 15-17

**A RESOLUTION AWARDING THE SALE OF \$2,025,000
GENERAL OBLIGATION CAPITAL IMPROVEMENT PLAN BONDS, SERIES 2015A;
FIXING THEIR FORM AND SPECIFICATIONS; DIRECTING THEIR EXECUTION AND
DELIVERY; AND PROVIDING FOR THEIR PAYMENT**

The motion for adopting the foregoing resolution was duly seconded by Councilmember McGann and upon roll call being taken, the following voted via voice:

Connie Carlson – aye

Michele Hanson – aye

Patrick McGann – aye

NEW BUSINESS

Consider a conditional use permit for government use and construction of a new Bayport Fire Hall on the property located at 1012 5th Avenue North: Assistant City Administrator/Planner Taylor said the subject parcel was deeded to the city in 2014 at no cost from the Minnesota Department of Corrections as a potential site for a new Fire Hall. The property is zoned R-3 Multiple Family Residential and is surrounded by a mixture of zoning districts and residential, public and institutional uses. A conditional use permit (CUP) is required to allow a governmental use and building in the zoning district. She noted the parcel meets the minimum lot requirements and design standards for the R-3 zoning district, and the building footprint, drive aisles and parking stalls all meet setback requirements. The building height and impervious coverage also comply with city code requirements. Washington County has approved access to the site from both 5th Avenue North and Stagecoach Trail. Due to the proximity to the correctional facility, certain restrictive deed covenants were placed on the parcel which conflict with city code

requirements, and therefore some flexibility in design standards is warranted. As such, the fence on the east property line will be six feet high, which is two feet greater in height than allowed by city code. The landscaping will also be minimized, especially along the property lines, for security reasons. Staff believes the Fire Hall building and related site improvements are compatible with city code and the city's comprehensive land use plan and recommends approval of the CUP, subject to the findings and conditions included in the May 19, 2015 staff report. The Planning Commission held a public hearing on the CUP application on May 11, 2015 and recommended approval of the CUP, subject to staff's recommendations.

Councilmember McGann introduced the following resolution and moved its adoption:

Resolution 15-18

RESOLUTION APPROVING A CONDITIONAL USE PERMIT (CUP) FOR GOVERNMENT USE AND CONSTRUCTION OF A NEW BAYPORT FIRE HALL ON THE PROPERTY LOCATED AT 1012 5TH AVENUE NORTH, CITY OF BAYPORT, WASHINGTON COUNTY, MINNESOTA, AS LEGALLY DESCRIBED ON THE ATTACHED DESCRIPTION

The motion for adopting the foregoing resolution was duly seconded by Councilmember Hanson and upon roll call being taken, the following voted via voice:

Connie Carlson – aye

Michele Hanson – aye

Patrick McGann – aye

COUNCIL LIAISON REPORTS

Councilmember Hanson reported the May 12 special election resulted in approval of the Stillwater Area School District's bond request that will be used to improve facilities throughout the school district. Today, she and Administrator Martin attended a meeting on a community solar subscriber collective program that may be of interest to the city.

Councilmember McGann noted the Planning Commission's recommendation to approve a conditional use permit for construction of a new city Fire Hall, as approved earlier in tonight's meeting.

Councilmember Carlson reported on the May 28, 2015 Bayport Library Board meeting. Residents can find information on the summer programs on the library's website or Facebook page. Plans are progressing to celebrate the library's 25 years of service at its current location in conjunction with Derby Days in September. The next meeting is scheduled for June 25, 2015, 6:00 p.m., at the library.

STAFF/CITY ADMINISTRATOR REPORTS

Fire Chief Swenson reviewed recent training and reported the department will be co-sponsoring railroad and pipeline safety training on June 6 at Stillwater Area High School. He thanked everyone who attended the groundbreaking ceremony for the new Fire Hall on May 18 and said it was well attended. The department also held its quarterly update meeting with the partner communities. The safety message this month relates to 911 calls. It is important to stay on the line with the dispatcher until all vital information is gathered and the dispatcher says it is okay to disconnect the call.

Police Chief Eastman reviewed May events, including a bike safety event with Andersen Elementary students, a Reserve Academy successfully completed by six new volunteer Reserve Officers, the annual Memorial Day Parade and department tours for Andersen Elementary kindergarten students. She recognized the role of the Reserve Officers for their many volunteer hours that were vital in conducting the Memorial Day Parade. The department will be assisting with the upcoming Bayport Community Action League Ice Cream Social on June 10, the Chamber of Commerce Rockin' Ribs on June 19 and 20, and the Dane's Place fundraiser on June 27. Registrations are being accepted for the 9th annual

Safety Camp for youth entering grades 3-5. The camp is scheduled for August 3 and 4 and registration materials are available at City Hall and on the city's website. She reminded residents to keep their garage doors closed to prevent a crime of opportunity and encouraged pedestrians to use the orange safety flags when crossing Highway 95.

Public Works Supervisor Horak reviewed his written report, noting the department is busy with park, cemetery, and other city property landscaping and maintenance duties. He recognized volunteers from Bethlehem Lutheran Church for their assistance in replanting the landscape beds at Barker's Alps Park. He reminded residents to avoid blowing their yard waste (grass clippings, leaves) into the street as this can clog the storm sewers and may eventually flow into the St. Croix River, affecting water quality. On behalf of Mayor St. Ores, Administrator Martin acknowledged the efforts of the Public Works staff in preparing the city's parks, streets and general property for the Memorial Day Parade.

Assistant City Administrator/Planner Taylor said Mattamy Homes' final plat application for Phase III-B of Inspiration will be heard by the Planning Commission on June 15, and it is expected to be considered by the City Council at the July 6 meeting. She reviewed upcoming city events including the citywide garage sale set for June 5 and 6. She thanked the election judges who helped with the recent special election and Paul and Mary Goulette for their donation to the flower basket program in the city's business district. She said the city is pursuing Washington County grant funding to purchase trash containers at City Hall and other city buildings that would provide separate recycling and waste receptacles.

Administrator Martin provided an update on the Fire Hall project and said the recent groundbreaking ceremony kicked off an approximate 6-month construction project, with the department expecting to move in early next year. The utility extension project to the site will require the closure of 5th Avenue North for several days and will commence after the school year ends, to avoid re-routing of bus routes. He reported staff anticipates holding a City Council workshop this month to discuss the potential redevelopment of the property at 169 3rd Street North using Tax Increment Finance funds.

CITY COUNCIL ITEMS AND ANNOUNCEMENTS

1. Deputy Mayor Carlson thanked everyone who made the Memorial Day Parade possible, recognizing the value of this community event.

ADJOURNMENT

It was moved by Councilmember McGann and seconded by Councilmember Hanson to adjourn the meeting at 6:45 p.m. Motion carried 3-0.

City Administrator/Clerk

CITY OF BAYPORT

*Budget Control Summary

Current Period: JUNE 2015

Account Descr	2015 Cumulative Budget	2015 Cumulative Actuals	2015 Cumulative Variance	2015 %	A
FUND 101 GENERAL					
Revenue Accounts					
DEPT 00000 GENERAL GOVERNMENT	\$1,860,364.00	\$266,154.96	\$1,594,209.04	85.69%	
DEPT 41200 MAYOR & COUNCIL	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 41240 RECYCLING	\$6,000.00	\$2,200.00	\$3,800.00	63.33%	
DEPT 41600 CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 41602 CURB & SIDEWALK PROJECT	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 41910 PLANNING & ZONING	\$108,000.00	\$79,786.18	\$28,213.82	26.12%	
DEPT 41940 MUNICIPAL BUILDINGS	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 42000 PUBLIC SAFE CAPITAL OUTLA	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 42100 POLICE	\$93,400.00	\$25,467.28	\$67,932.72	72.73%	
DEPT 42200 FIRE PROTECTION	\$426,631.00	\$32,075.60	\$394,555.40	92.48%	
DEPT 42201 FIRE STATION	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 43100 STREET MAINT	\$7,000.00	\$1,380.00	\$5,620.00	80.29%	
DEPT 43130 STREET - FLOOD PREPARATIO	\$0.00	\$30.00	-\$30.00	0.00%	
DEPT 43200 PARKS	\$30,150.00	\$8,768.41	\$21,381.59	70.92%	
DEPT 43201 PERRO PARK PROJECT/PLAN	\$0.00	\$10,000.00	-\$10,000.00	0.00%	
DEPT 43300 CEMETERY	\$12,000.00	\$7,615.00	\$4,385.00	36.54%	
DEPT 44100 PROJECT	\$0.00	\$0.00	\$0.00	0.00%	
Total Revenue Accounts	\$2,543,545.00	\$433,477.43	\$2,110,067.57	82.96%	
Expenditure Accounts					
DEPT 41100 ELECTIONS	\$1,000.00	\$100.77	\$899.23	89.92%	
DEPT 41200 MAYOR & COUNCIL	\$194,540.00	\$96,665.33	\$97,874.67	50.31%	
DEPT 41240 RECYCLING	\$7,115.00	\$1,813.15	\$5,301.85	74.52%	
DEPT 41400 ADMINISTRATION	\$155,337.00	\$73,082.94	\$82,254.06	52.95%	
DEPT 41910 PLANNING & ZONING	\$240,697.00	\$109,865.46	\$130,831.54	54.36%	
DEPT 41940 MUNICIPAL BUILDINGS	\$49,050.00	\$20,121.72	\$28,928.28	58.98%	
DEPT 42100 POLICE	\$788,668.00	\$375,260.34	\$413,407.66	52.42%	
DEPT 42200 FIRE PROTECTION	\$491,432.00	\$172,100.34	\$319,331.66	64.98%	
DEPT 42201 FIRE STATION	\$0.00	\$72,985.87	-\$72,985.87	0.00%	
DEPT 43100 STREET MAINT	\$308,003.00	\$81,050.27	\$226,952.73	73.69%	
DEPT 43130 STREET - FLOOD PREPARATIO	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 43135 56TH ST & PICKETT AVE TRAIL	\$0.00	\$0.00	\$0.00	0.00%	
DEPT 43140 HAYNER/2ND ST. S UTILITY PR	\$0.00	\$1,247.92	-\$1,247.92	0.00%	
DEPT 43160 STREET LIGHTING	\$31,750.00	\$13,063.33	\$18,686.67	58.86%	
DEPT 43200 PARKS	\$64,928.00	\$35,053.15	\$29,874.85	46.01%	
DEPT 43300 CEMETERY	\$7,475.00	\$963.06	\$6,511.94	87.12%	
DEPT 44100 PROJECT	\$50,000.00	\$0.00	\$50,000.00	100.00%	
Total Expenditure Accounts	\$2,389,995.00	\$1,053,373.65	\$1,336,621.35	55.93%	

LM

CITY OF BAYPORT

06/30/15 2:18 PM

*Fund Summary -
Budget to Actual©

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JUNE 2015

	2015 YTD Budget	JUNE MTD Amount	2015 YTD Amount	2015 YTD Balance	2015 % YTD Budget
FUND 101 GENERAL					
Revenue	\$2,543,545.00	\$43,833.42	\$433,477.43	\$2,110,067.57	17.04%
Expenditure	\$2,389,995.00	\$151,561.40	\$1,053,373.65	\$1,336,621.35	44.07%
		<u>-\$107,727.98</u>	<u>-\$619,896.22</u>		
FUND 102 STREET RECONSTRUCTION					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 103 G O TIF BD FUND 1990 CAP PROJ					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$480.00	-\$480.00	0.00%
		<u>\$0.00</u>	<u>-\$480.00</u>		
FUND 106 TIF ECON DEV DIST 2					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 107 TIF REDEVELOPMENT DISTRICT 2-1					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$22,715.31	-\$22,715.31	0.00%
		<u>\$0.00</u>	<u>-\$22,715.31</u>		
FUND 200 FIRE EQUIPMENT REPLACEMENT FUN					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 201 D.A.R.E.					
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 202 DRUG FORFEITURE					
Revenue	\$0.00	\$0.00	\$1,039.00	-\$1,039.00	0.00%
Expenditure	\$0.00	\$243.00	\$1,971.77	-\$1,971.77	0.00%
		<u>-\$243.00</u>	<u>-\$932.77</u>		
FUND 203 PUBLIC WORKS EQUIPMENT REPL					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 204 RECREATION CAP EQUIP & MAINT					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		<u>\$0.00</u>	<u>\$0.00</u>		
FUND 205 TAX STABILIZATION FUND					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%

CITY OF BAYPORT

06/30/15 2:18 PM

*Fund Summary -
Budget to Actual©

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JUNE 2015

	2015 YTD Budget	JUNE MTD Amount	2015 YTD Amount	2015 YTD Balance	2015 % YTD Budget
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 206 WATER/SEWER IMPROVEMENT FUND					
Revenue	\$0.00	\$14,700.00	\$14,700.00	-\$14,700.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$14,700.00	\$14,700.00		
FUND 207 PARK IMPROVEMENT FUND					
Revenue	\$0.00	\$1,000.00	\$1,000.00	-\$1,000.00	0.00%
Expenditure	\$0.00	\$0.00	\$36.96	-\$36.96	0.00%
		\$1,000.00	\$963.04		
FUND 208 PRISON SEWER PROJECT					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 209 DEVELOPER REIMBURSED PROJECTS					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 210 K-9 UNIT					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 211 LIBRARY					
Revenue	\$295,300.00	\$166.00	\$3,916.09	\$291,383.91	1.33%
Expenditure	\$295,300.00	\$22,830.27	\$138,003.54	\$157,296.46	46.73%
		-\$22,664.27	-\$134,087.45		
FUND 303 GO TIF BOND 1990 DEBT SERVICE					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$150.00	\$6,820.00	-\$6,820.00	0.00%
		-\$150.00	-\$6,820.00		
FUND 311 GO IMPROV BONDS OF 1992 DEBT S					
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 400 NEW FIRE STATION					
Revenue	\$0.00	\$25,000.00	\$408,000.00	-\$408,000.00	0.00%
Expenditure	\$0.00	\$114,815.67	\$267,402.31	-\$267,402.31	0.00%
		-\$89,815.67	\$140,597.69		
FUND 412 CEMETERY CAPITAL IMPROV					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%

CITY OF BAYPORT
***Fund Summary -**
Budget to Actual©

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JUNE 2015

	2015 YTD Budget	JUNE MTD Amount	2015 YTD Amount	2015 YTD Balance	2015 % YTD Budget
		\$0.00	\$0.00		
FUND 413 POLICE EQUIPMENT FUND					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 414 OFFICE AUTOMATION					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 415 MUNICIPAL BLDGS MAINT					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 416 PERRO CREEK OUTLET					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 601 WATER					
Revenue	\$348,950.00	\$6,493.47	\$12,920.00	\$336,030.00	3.70%
Expenditure	\$504,548.00	\$30,562.04	\$228,393.03	\$276,154.97	45.27%
		-\$24,068.57	-\$215,473.03		
FUND 602 SEWER					
Revenue	\$633,500.00	\$3,200.00	\$4,000.00	\$629,500.00	0.63%
Expenditure	\$308,687.00	\$47,775.63	\$324,197.78	-\$15,510.78	105.02%
		-\$44,575.63	-\$320,197.78		
FUND 800 INVESTMENTS-POOLED					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
FUND 803 P & Z ESCROWS					
Revenue	\$0.00	\$15,000.00	\$27,461.74	-\$27,461.74	0.00%
Expenditure	\$0.00	\$4,654.39	\$26,732.52	-\$26,732.52	0.00%
		\$10,345.61	\$729.22		
FUND 851 NON EXP TRUST					
Revenue	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Expenditure	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
		\$0.00	\$0.00		
Report Total		-\$263,199.51	-\$1,163,612.61		

CITY OF BAYPORT
REVENUE SUMMARY YTD THRU 06/30/2015

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FUND	FUND Descr	2015 Budget	2015 YTD Amt	2015 % of Budget	2015 % of Budget Remain
FUND 101	GENERAL	\$2,543,545.00	\$433,477.43	17.04%	82.96%
FUND 102	STREET RECONSTRUCTION	\$0.00	\$0.00	0.00%	0.00%
FUND 103	G O TIF BD FUND 1990 CAP PRO	\$0.00	\$0.00	0.00%	0.00%
FUND 106	TIF ECON DEV DIST 2	\$0.00	\$0.00	0.00%	0.00%
FUND 107	TIF REDEVELOPMENT DISTRICT	\$0.00	\$0.00	0.00%	0.00%
FUND 200	FIRE EQUIPMENT REPLACEMENT	\$0.00	\$0.00	0.00%	0.00%
FUND 202	DRUG FORFEITURE	\$0.00	\$1,039.00	0.00%	0.00%
FUND 203	PUBLIC WORKS EQUIPMENT REP	\$0.00	\$0.00	0.00%	0.00%
FUND 204	RECREATION CAP EQUIP & MAIN	\$0.00	\$0.00	0.00%	0.00%
FUND 205	TAX STABILIZATION FUND	\$0.00	\$0.00	0.00%	0.00%
FUND 206	WATER/SEWER IMPROVEMENT F	\$0.00	\$14,700.00	0.00%	0.00%
FUND 207	PARK IMPROVEMENT FUND	\$0.00	\$1,000.00	0.00%	0.00%
FUND 208	PRISON SEWER PROJECT	\$0.00	\$0.00	0.00%	0.00%
FUND 209	DEVELOPER REIMBURSED PROJE	\$0.00	\$0.00	0.00%	0.00%
FUND 210	K-9 UNIT	\$0.00	\$0.00	0.00%	0.00%
FUND 211	LIBRARY	\$295,300.00	\$3,916.09	1.33%	98.67%
FUND 303	GO TIF BOND 1990 DEBT SERVIC	\$0.00	\$0.00	0.00%	0.00%
FUND 400	NEW FIRE STATION	\$0.00	\$408,000.00	0.00%	0.00%
FUND 412	CEMETERY CAPITAL IMPROV	\$0.00	\$0.00	0.00%	0.00%
FUND 413	POLICE EQUIPMENT FUND	\$0.00	\$0.00	0.00%	0.00%
FUND 414	OFFICE AUTOMATION	\$0.00	\$0.00	0.00%	0.00%
FUND 415	MUNICIPAL BLDGS MAINT	\$0.00	\$0.00	0.00%	0.00%
FUND 416	PERRO CREEK OUTLET	\$0.00	\$0.00	0.00%	0.00%
FUND 601	WATER	\$348,950.00	\$12,920.00	3.70%	96.30%
FUND 602	SEWER	\$633,500.00	\$4,000.00	0.63%	99.37%
FUND 800	INVESTMENTS-POOLED	\$0.00	\$0.00	0.00%	0.00%
FUND 803	P & Z ESCROWS	\$0.00	\$27,461.74	0.00%	0.00%
FUND 851	NON EXP TRUST	\$0.00	\$0.00	0.00%	0.00%
		\$3,821,295.00	\$906,514.26	23.72%	76.28%

**CITY OF BAYPORT
MONTHLY RECEIPTS**

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FUN	Tran Date	Amount	Refer	Comments	Account Descr
FUND 101 GENERAL					
101	06/03/15	\$1,329.41	5093	GAMBLING PROCEEDS ck # 10879	R 101-00000-32204 GAMBLIN
101	06/25/15	\$1,332.59	5136	GAMBLING PROCEEDS CK # 10947	R 101-00000-32204 GAMBLIN
101	06/02/15	\$28.00	5072	ASSESSMENT SEARCH CK # 3079	R 101-00000-34105 USER FEE
101	06/11/15	\$28.00	5126	ASSESSMENT SEARCH CK # 6045	R 101-00000-34105 USER FEE
101	06/29/15	\$1.00	5169	COPIES (\$0.25/PAGE) CASH	R 101-00000-34105 USER FEE
101	06/10/15	\$5.04	5125	PROPERTY/CASUALTY DIVIDEND CK # 77	R 101-00000-36250 REFUND
101	06/22/15	\$2,485.00	5147	SAC	G 101-20102 S A C CHARGES
101	05/28/15	\$2.50	5073	BUILDING SURCHARGE Grandas #114	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5076	PLUMBING SURCHARGE - RESIDENTIAL C	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5078	PLUMBING SURCHARGE - RESIDENTIAL C	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5079	PLUMBING SURCHARGE - RESIDENTIAL C	G 101-20104 STATE SURCHA
101	05/28/15	\$1.65	5080	BUILDING SURCHARGE JTR Roofing #161	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5081	PLUMBING SURCHARGE - RESIDENTIAL	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5082	PLUMBING SURCHARGE - RESIDENTIAL	G 101-20104 STATE SURCHA
101	05/28/15	\$5.00	5082	PLUMBING SURCHARGE - RESIDENTIAL	G 101-20104 STATE SURCHA
101	06/01/15	\$2.00	5087	BUILDING SURCHARGE Fillmore #5979	G 101-20104 STATE SURCHA
101	06/04/15	\$20.00	5102	BUILDING SURCHARGE	G 101-20104 STATE SURCHA
101	06/04/15	\$3.00	5104	BUILDING SURCHARGE Clear Choice Rest	G 101-20104 STATE SURCHA
101	06/04/15	\$205.00	5105	BUILDING SURCHARGE Moser Homes #29	G 101-20104 STATE SURCHA
101	06/08/15	\$0.50	5108	BUILDING SURCHARGE Lutz #4456	G 101-20104 STATE SURCHA
101	06/09/15	\$5.00	5112	MECHANICAL SURCHARGE - COMMERCIA	G 101-20104 STATE SURCHA
101	06/10/15	\$5.00	5114	PLUMBING SURCHARGE - COMMERCIAL S	G 101-20104 STATE SURCHA
101	06/10/15	\$5.00	5115	PLUMBING SURCHARGE - RESIDENTIAL S	G 101-20104 STATE SURCHA
101	06/10/15	\$8.55	5120	BUILDING SURCHARGE Sussel Corp. #602	G 101-20104 STATE SURCHA
101	06/11/15	\$5.00	5128	MECHANICAL SURCHARGE - RESIDENTIA	G 101-20104 STATE SURCHA
101	06/15/15	\$2.19	5129	BUILDING SURCHARGE J.G.Hause #3389	G 101-20104 STATE SURCHA
101	06/16/15	\$4.50	5139	BUILDING SURCHARGE Check #157	G 101-20104 STATE SURCHA
101	06/17/15	\$9.04	5142	BUILDING SURCHARGE WS&D Permit Serv	G 101-20104 STATE SURCHA
101	06/17/15	\$2.73	5143	BUILDING SURCHARGE WS&D Permit Serv	G 101-20104 STATE SURCHA
101	06/22/15	\$181.00	5147	BUILDING SURCHARGE Custom Home Buil	G 101-20104 STATE SURCHA
101	06/22/15	\$12.50	5149	BUILDING SURCHARGE J.G. Hause #3426	G 101-20104 STATE SURCHA
101	06/24/15	\$5.00	5155	MECHANICAL SURCHARGE - RESIDENTIA	G 101-20104 STATE SURCHA
101	06/24/15	\$5.00	5155	MECHANICAL SURCHARGE - RESIDENTIA	G 101-20104 STATE SURCHA
101	06/24/15	\$3.90	5156	BUILDING SURCHARGE Legacy Exteriors	G 101-20104 STATE SURCHA
101	06/25/15	\$5.00	5161	PLUMBING SURCHARGE - RESIDENTIAL D	G 101-20104 STATE SURCHA
101	06/03/15	\$25.15	24	State Sales Tax	G 101-20603 SALES TAX PAY
101	06/30/15	\$277.65	24	State Sales Tax	G 101-20603 SALES TAX PAY
101	06/11/15	\$103.01	24	State Sales Tax	G 101-20603 SALES TAX PAY
101	06/18/15	\$56.99	24	State Sales Tax	G 101-20603 SALES TAX PAY
101	06/10/15	\$87.50	5124	HEALTH PARTNERS CK # 0014169575	G 101-27109 HEALTH PARTN
101	06/10/15	\$75.00	5124	HEALTH SAVING ACCT. CK # 0014169575	G 101-27122 H S A
101	06/16/15	\$947.06	5130	ELECTIONS WAGES REIMBURSEMENT CK	E 101-41100-104 ELECTION S
101	06/03/15	\$180.00	5097	DANGEROUS DOG COURT (REFUND & REI	E 101-41200-300 PROF SER-L
101	05/28/15	\$100.00	5077	CONTRACTOR LICENSE - GENERAL Moser	R 101-41910-32100 BUSINES
101	06/11/15	\$50.00	5128	CONTRACTOR LICENSE - SPECIALTY Sedg	R 101-41910-32100 BUSINES
101	06/29/15	\$50.00	5173	CONTRACTOR LICENSE - SPECIALTY Ima	R 101-41910-32100 BUSINES
101	05/28/15	\$15.00	5075	SPECIAL EVENT APP - NONPROFIT/PUBLI	R 101-41910-32200 NONBUSI
101	06/01/15	\$25.00	5087	DUMPSTER/BULK CONTAINER	R 101-41910-32200 NONBUSI
101	06/03/15	\$54.00	5095	SIGN PERMIT - PERMANENT CASH-BRIAN	R 101-41910-32200 NONBUSI
101	06/03/15	\$50.00	5099	SPECIAL EVENT APP - PROFIT AGENCIES	R 101-41910-32200 NONBUSI
101	06/29/15	\$50.00	5177	SPECIAL EVENT APP - PROFIT AGENCIES	R 101-41910-32200 NONBUSI
101	05/28/15	\$118.00	5073	BUILDING PERMIT Grandas #114	R 101-41910-32210 BUILDIN

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FUN	Tran Date	Amount	Refer	Comments	Account Descr
101	05/28/15	\$76.70	5073	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	05/28/15	\$103.25	5080	BUILDING PERMIT JTR Roofing #161240	R 101-41910-32210 BUILDIN
101	05/28/15	\$2,485.00	5081	BUILDING PERMIT	R 101-41910-32210 BUILDIN
101	05/28/15	\$2,485.00	5082	BUILDING PERMIT	R 101-41910-32210 BUILDIN
101	05/28/15	\$2,485.00	5082	BUILDING PERMIT	R 101-41910-32210 BUILDIN
101	06/01/15	\$103.25	5087	BUILDING PERMIT Fillmore #5979	R 101-41910-32210 BUILDIN
101	06/04/15	\$143.56	5102	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/04/15	\$574.25	5102	BUILDING PERMIT	R 101-41910-32210 BUILDIN
101	06/04/15	\$132.75	5104	BUILDING PERMIT Clear Choice Restoratio	R 101-41910-32210 BUILDIN
101	06/04/15	\$1,895.89	5105	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/04/15	\$2,916.75	5105	BUILDING PERMIT Moser Homes #29383	R 101-41910-32210 BUILDIN
101	06/08/15	\$41.25	5108	BUILDING PERMIT Lutz #4456	R 101-41910-32210 BUILDIN
101	06/09/15	\$205.00	5112	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/10/15	\$201.34	5120	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/10/15	\$309.75	5120	BUILDING PERMIT Sussel Corp. #60217	R 101-41910-32210 BUILDIN
101	06/15/15	\$118.00	5129	BUILDING PERMIT J.G.Hause #3389	R 101-41910-32210 BUILDIN
101	06/16/15	\$177.00	5139	BUILDING PERMIT Check #157	R 101-41910-32210 BUILDIN
101	06/16/15	\$115.05	5139	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/17/15	\$324.50	5142	BUILDING PERMIT WS&D Permit Service	R 101-41910-32210 BUILDIN
101	06/17/15	\$132.75	5143	BUILDING PERMIT WS&D Permit Service	R 101-41910-32210 BUILDIN
101	06/22/15	\$1,708.69	5147	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/22/15	\$2,628.75	5147	BUILDING PERMIT Custom Home Builders	R 101-41910-32210 BUILDIN
101	06/22/15	\$413.00	5149	BUILDING PERMIT J.G. Hause #3426	R 101-41910-32210 BUILDIN
101	06/22/15	\$268.45	5149	PLAN REVIEW	R 101-41910-32210 BUILDIN
101	06/24/15	\$162.25	5156	BUILDING PERMIT Legacy Exteriors #598	R 101-41910-32210 BUILDIN
101	06/24/15	\$250.00	5159	BUILDING PERMIT Summit Fire Protection	R 101-41910-32210 BUILDIN
101	05/28/15	\$5.00	5080	EPA	R 101-41910-32211 EPA
101	06/15/15	\$5.00	5129	EPA	R 101-41910-32211 EPA
101	06/17/15	\$5.00	5142	EPA	R 101-41910-32211 EPA
101	06/17/15	\$5.00	5143	EPA	R 101-41910-32211 EPA
101	05/28/15	\$50.00	5076	ROW EXCAVATION INSPECTION	R 101-41910-32214 EXCAVAT
101	05/28/15	\$300.00	5076	ROW EXCAVATION PERMIT	R 101-41910-32214 EXCAVAT
101	06/08/15	\$300.00	5107	ROW EXCAVATION PERMIT Richard Hayn	R 101-41910-32214 EXCAVAT
101	06/08/15	\$50.00	5107	ROW EXCAVATION INSPECTION Richard	R 101-41910-32214 EXCAVAT
101	06/08/15	\$50.00	5111	ROW EXCAVATION INSPECTION Doris Ha	R 101-41910-32214 EXCAVAT
101	06/08/15	\$300.00	5111	ROW EXCAVATION PERMIT Doris Hayner	R 101-41910-32214 EXCAVAT
101	06/11/15	\$50.00	5122	ROW EXCAVATION INSPECTION MILLER	R 101-41910-32214 EXCAVAT
101	06/11/15	\$300.00	5122	ROW EXCAVATION PERMIT MILLER EXCA	R 101-41910-32214 EXCAVAT
101	06/16/15	\$300.00	5137	ROW EXCAVATION PERMIT Xcel Energy #	R 101-41910-32214 EXCAVAT
101	06/16/15	\$50.00	5137	ROW EXCAVATION INSPECTION Xcel Ener	R 101-41910-32214 EXCAVAT
101	05/28/15	\$75.00	5076	PLUMBING PERMIT - RESIDENTIAL Capra	R 101-41910-32220 PLUMBIN
101	05/28/15	\$75.00	5078	PLUMBING PERMIT - RESIDENTIAL Creati	R 101-41910-32220 PLUMBIN
101	05/28/15	\$75.00	5079	PLUMBING PERMIT - RESIDENTIAL Creati	R 101-41910-32220 PLUMBIN
101	05/28/15	\$75.00	5081	PLUMBING PERMIT - RESIDENTIAL	R 101-41910-32220 PLUMBIN
101	05/28/15	\$75.00	5082	PLUMBING PERMIT - RESIDENTIAL	R 101-41910-32220 PLUMBIN
101	05/28/15	\$75.00	5082	PLUMBING PERMIT - RESIDENTIAL	R 101-41910-32220 PLUMBIN
101	06/10/15	\$205.00	5114	PLUMBING PERMIT - COMMERCIAL Schult	R 101-41910-32220 PLUMBIN
101	06/10/15	\$75.00	5115	PLUMBING PERMIT - RESIDENTIAL Schuti	R 101-41910-32220 PLUMBIN
101	06/25/15	\$75.00	5161	PLUMBING PERMIT - RESIDENTIAL Derric	R 101-41910-32220 PLUMBIN
101	06/09/15	\$820.00	5112	MECHANICAL PERMIT - COMMERCIAL And	R 101-41910-32230 MECHANI
101	06/11/15	\$75.00	5128	MECHANICAL PERMIT - RESIDENTIAL Sed	R 101-41910-32230 MECHANI
101	06/24/15	\$75.00	5155	MECHANICAL PERMIT - RESIDENTIAL Scw	R 101-41910-32230 MECHANI
101	06/24/15	\$75.00	5155	MECHANICAL PERMIT - RESIDENTIAL Mill	R 101-41910-32230 MECHANI
101	06/15/15	\$500.00	5134	VACANT BUILDING REGISTRATION Josh L	R 101-41910-34100 P & Z PE

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FUN	Tran Date	Amount	Refer	Comments	Account Descr
101	06/25/15	\$1,609.47	5163	BUILDING INSPECTIONS (LAKELAND) CK	R 101-41910-34103 LAKELAN
101	06/01/15	\$10.00	5085	PET LICENSE - SPAY/NEUT Hechter #976	R 101-42100-32240 ANIMAL F
101	06/16/15	\$20.00	5135	PET LICENSE - NO SPAY/NEUT CASH - ZA	R 101-42100-32240 ANIMAL F
101	06/29/15	\$20.00	5167	PET LICENSE - NO SPAY/NEUT Schnecken	R 101-42100-32240 ANIMAL F
101	06/02/15	\$60.00	5094	PEDDLER LICENSE Street Treats, LLC #50	R 101-42100-33100 ADMINIS
101	06/08/15	\$800.00	5110	POLICE ADMINISTRATIVE FEES Run Stillw	R 101-42100-33100 ADMINIS
101	06/08/15	\$40.00	5068	SAFETY CAMP REGISTRATION Cody #453	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Preuss #62	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Gilles #367	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION St. Claire #	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Stanton #6	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Reichow #	R 101-42100-34105 USER FEE
101	06/05/15	\$80.00	5106	SAFETY CAMP REGISTRATION Peterson #	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Kyndberg	R 101-42100-34105 USER FEE
101	06/05/15	\$80.00	5106	SAFETY CAMP REGISTRATION Kockelman	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Johnston #	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Dejarnett	R 101-42100-34105 USER FEE
101	06/05/15	\$40.00	5106	SAFETY CAMP REGISTRATION Grant #51	R 101-42100-34105 USER FEE
101	06/11/15	\$40.00	5127	SAFETY CAMP REGISTRATION Brower/Dal	R 101-42100-34105 USER FEE
101	06/15/15	\$40.00	5133	SAFETY CAMP REGISTRATION Wenzel #3	R 101-42100-34105 USER FEE
101	06/15/15	\$40.00	5133	SAFETY CAMP REGISTRATION Richter #1	R 101-42100-34105 USER FEE
101	06/16/15	\$40.00	5138	SAFETY CAMP REGISTRATION	R 101-42100-34105 USER FEE
101	06/16/15	\$40.00	5138	SAFETY CAMP REGISTRATION	R 101-42100-34105 USER FEE
101	06/16/15	\$40.00	5138	SAFETY CAMP REGISTRATION Juli Pelletie	R 101-42100-34105 USER FEE
101	06/19/15	\$40.00	5146	SAFETY CAMP REGISTRATION Dahl #565	R 101-42100-34105 USER FEE
101	06/23/15	\$40.00	5153	SAFETY CAMP REGISTRATION Longway #	R 101-42100-34105 USER FEE
101	06/23/15	\$40.00	5153	SAFETY CAMP REGISTRATION Huftel #68	R 101-42100-34105 USER FEE
101	06/24/15	\$40.00	5158	SAFETY CAMP REGISTRATION Busch #45	R 101-42100-34105 USER FEE
101	06/24/15	\$80.00	5158	SAFETY CAMP REGISTRATION Erickson #	R 101-42100-34105 USER FEE
101	06/25/15	\$80.00	5160	SAFETY CAMP REGISTRATION Coleman #	R 101-42100-34105 USER FEE
101	06/29/15	\$40.00	5171	SAFETY CAMP REGISTRATION Gardner #	R 101-42100-34105 USER FEE
101	06/29/15	\$40.00	5171	SAFETY CAMP REGISTRATION Stabenow	R 101-42100-34105 USER FEE
101	06/25/15	\$3,541.50	16839	MAY 2015 WASHINGTON CTY TRAIL COU	R 101-42100-35101 COURT FI
101	06/01/15	\$200.00	5088	FIRE DONATIONS Stelling/Litchfield #507	R 101-42200-36232 DONATIO
101	06/25/15	\$1,380.00	16838	HWY 95 SNOW REMOVAL - WINTER 2014	R 101-43100-36240 REFUNDS
101	05/28/15	\$25.00	5074	BOAT TRAILER PARKING PERMIT CASH -	R 101-43200-34780 PARK FEE
101	05/28/15	\$25.00	5083	BOAT TRAILER PARKING PERMIT CASH -	R 101-43200-34780 PARK FEE
101	05/28/15	\$25.00	5084	BOAT TRAILER PARKING PERMIT Greg Th	R 101-43200-34780 PARK FEE
101	06/01/15	\$150.00	5086	BEACH HOUSE - NONRESIDENT(M-TH) Oa	R 101-43200-34780 PARK FEE
101	06/01/15	\$75.00	5089	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/01/15	\$300.00	5090	PICNIC TABLE Bethlehem Lutheran #3073	R 101-43200-34780 PARK FEE
101	06/01/15	\$25.00	5091	BOAT TRAILER PARKING PERMIT Fribeg	R 101-43200-34780 PARK FEE
101	06/03/15	\$100.00	5096	PICNIC TABLE BCAL #2351	R 101-43200-34780 PARK FEE
101	06/04/15	\$75.00	5100	BEACHHOUSE - RESIDENT(FRI-SUN) CAS	R 101-43200-34780 PARK FEE
101	06/10/15	\$168.03	5101	BOAT TRAILER PARKING PERMIT CASH	R 101-43200-34780 PARK FEE
101	06/04/15	\$50.00	5103	BEACHHOUSE - RESIDENT(M-TH) Lauenst	R 101-43200-34780 PARK FEE
101	06/08/15	\$25.00	5109	BOAT TRAILER PARKING PERMIT Cash - J	R 101-43200-34780 PARK FEE
101	06/09/15	\$200.00	5113	BEACH HOUSE - NONRESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/10/15	\$25.00	5116	BOAT TRAILER PARKING PERMIT Carlson	R 101-43200-34780 PARK FEE
101	06/10/15	\$75.00	5117	BEACHHOUSE - RESIDENT(FRI-SUN) Hayn	R 101-43200-34780 PARK FEE
101	06/10/15	\$25.00	5118	BOAT TRAILER PARKING PERMIT CASH -	R 101-43200-34780 PARK FEE
101	06/10/15	\$25.00	5118	BOAT TRAILER PARKING PERMIT CASH -	R 101-43200-34780 PARK FEE
101	06/10/15	\$75.00	5119	BEACHHOUSE - RESIDENT(FRI-SUN) Millik	R 101-43200-34780 PARK FEE
101	06/10/15	\$75.00	5121	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE

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101	06/15/15	\$200.00	5131	BEACH HOUSE - NONRESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/15/15	\$75.00	5132	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/17/15	\$25.00	5140	PICNIC SHELTER - RESIDENT (EACH-UP T	R 101-43200-34780 PARK FEE
101	06/17/15	\$200.00	5141	BEACH HOUSE - NONRESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/17/15	\$75.00	5141	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/17/15	\$25.00	5144	BOAT TRAILER PARKING PERMIT Murphy	R 101-43200-34780 PARK FEE
101	06/19/15	\$75.00	5145	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/22/15	\$25.00	5148	BOAT TRAILER PARKING PERMIT Cash	R 101-43200-34780 PARK FEE
101	06/22/15	\$25.00	5151	BOAT TRAILER PARKING PERMIT McCloud	R 101-43200-34780 PARK FEE
101	06/22/15	\$75.00	5152	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/23/15	\$25.00	5154	BOAT TRAILER PARKING PERMIT Gilles #	R 101-43200-34780 PARK FEE
101	06/24/15	\$200.00	5157	BEACH HOUSE - NONRESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/25/15	\$25.00	5164	BOAT TRAILER PARKING PERMIT Detert	R 101-43200-34780 PARK FEE
101	06/25/15	\$121.35	5165	BOAT TRAILER PARKING PERMIT	R 101-43200-34780 PARK FEE
101	06/29/15	\$50.00	5170	BEACHHOUSE - RESIDENT(M-TH) Johnson	R 101-43200-34780 PARK FEE
101	06/29/15	\$75.00	5174	BEACHHOUSE - RESIDENT(FRI-SUN) Kristi	R 101-43200-34780 PARK FEE
101	06/29/15	\$200.00	5175	BEACH HOUSE - NONRESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/29/15	\$150.00	5176	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/29/15	\$150.00	5176	PICNIC SHELTER - NONRESIDENT(EACH-	R 101-43200-34780 PARK FEE
101	06/29/15	\$80.00	5176	TRASH RECEPTACLE/BARRICADE Sportek	R 101-43200-34780 PARK FEE
101	06/29/15	\$2,000.00	5178	PICNIC SHELTER - RESIDENT (OVER 500)	R 101-43200-34780 PARK FEE
101	06/29/15	\$10.00	5178	PARK FIELD-COURT RENTAL FEE (Ball Fiel	R 101-43200-34780 PARK FEE
101	06/29/15	\$150.00	5178	BEACHHOUSE - RESIDENT(FRI-SUN)	R 101-43200-34780 PARK FEE
101	06/29/15	\$60.00	5178	PARK FIELD-COURT RENTAL FEE (Volleyb	R 101-43200-34780 PARK FEE
101	06/02/15	\$15.00	5092	CEMETERY - TRANSFER TITLE CASH - Ch	R 101-43300-34940 CEMETER
101	06/22/15	\$300.00	5150	CEMETERY - OPEN/CLOSE GRAVE - CREM	R 101-43300-34940 CEMETER
101	06/22/15	\$200.00	5150	CEMETERY - SATURDAY BURIAL	R 101-43300-34940 CEMETER
101	06/22/15	\$1,000.00	5150	CEMETERY - HEADSTONE DEPOSIT	R 101-43300-34940 CEMETER
FUND 101 GENER		\$48,569.99			
FUND 206 WATER/SEWER IMPROVEMENT FUND					
206	06/18/15	\$9.58	0	UB Receipt Serv 26 TRUNK W/RESI	G 206-12103 A/R GEN BILLIN
206	06/25/15	\$13.25	0	UB Receipt Serv 36 TRUNK S/RESI	G 206-12103 A/R GEN BILLIN
206	06/30/15	\$19.48	0	UB Receipt Serv 26 TRUNK W/RESI	G 206-12103 A/R GEN BILLIN
206	06/30/15	\$15.71	0	UB Receipt Serv 36 TRUNK S/RESI	G 206-12103 A/R GEN BILLIN
206	06/18/15	\$10.21	0	UB Receipt Serv 36 TRUNK S/RESI	G 206-12103 A/R GEN BILLIN
206	06/25/15	\$12.58	0	UB Receipt Serv 26 TRUNK W/RESI	G 206-12103 A/R GEN BILLIN
206	06/11/15	\$23.70	0	UB Receipt Serv 26 TRUNK W/RESI	G 206-12103 A/R GEN BILLIN
206	06/11/15	\$16.68	0	UB Receipt Serv 36 TRUNK S/RESI	G 206-12103 A/R GEN BILLIN
206	06/03/15	\$33.19	0	UB Receipt Serv 26 TRUNK W/RESI	G 206-12103 A/R GEN BILLIN
206	06/03/15	\$34.45	0	UB Receipt Serv 36 TRUNK S/RESI	G 206-12103 A/R GEN BILLIN
206	06/03/15	\$14,700.00	5098	TRUNK WATER-RESIDENDIAL CK # 30327	R 206-41900-37106 TRUNK W
FUND 206 WATE		\$14,888.83			
FUND 207 PARK IMPROVEMENT FUND					
207	06/22/15	\$1,000.00	5147	PARK DEDICATION	R 207-00000-34780 PARK FEE
FUND 207 PARK I		\$1,000.00			
FUND 211 LIBRARY					
211	06/29/15	\$16.00	5166	LIBRARY SERVICE CHARGE CK # 7922	R 211-45500-34760 LIBRARY
211	06/29/15	\$150.00	5166	LIBRARY SERVICE CHARGE CASH	R 211-45500-34760 LIBRARY
FUND 211 LIBRA		\$166.00			
FUND 400 NEW FIRE STATION					
400	06/25/15	\$25,000.00	5162	FIRE HALL CAPITAL SUPPORT CK # 0080	R 400-42201-36233 GRANTS

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FUND 400 NEW F		\$25,000.00			
FUND 601 WATER					
601	06/11/15	\$284.38	0	UB Receipt Serv 1 WATER	G 601-14601 WATER BILLING
601	06/03/15	\$17.66	0	UB Receipt Serv Pen 1 WATER	G 601-14601 WATER BILLING
601	06/03/15	\$405.17	0	UB Receipt Serv 1 WATER	G 601-14601 WATER BILLING
601	06/18/15	\$8.48	0	UB Receipt Serv Pen 1 WATER	G 601-14601 WATER BILLING
601	06/18/15	\$112.51	0	UB Receipt Serv 1 WATER	G 601-14601 WATER BILLING
601	06/30/15	\$7.50	0	UB Receipt Serv Pen 1 WATER	G 601-14601 WATER BILLING
601	06/30/15	\$228.63	0	UB Receipt Serv 1 WATER	G 601-14601 WATER BILLING
601	06/11/15	\$15.00	0	UB Receipt Serv Pen 1 WATER	G 601-14601 WATER BILLING
601	06/25/15	\$145.33	0	UB Receipt Serv 1 WATER	G 601-14601 WATER BILLING
601	06/25/15	\$3.71	0	UB Receipt Serv Pen 1 WATER	G 601-14601 WATER BILLING
601	05/28/15	\$1,200.00	5078	WATER CONNECTION - OVER 1 IN	R 601-46120-34601 WATER H
601	05/28/15	\$1,200.00	5079	WATER CONNECTION - OVER 1 IN	R 601-46120-34601 WATER H
601	06/22/15	\$1,200.00	5147	WATER CONNECTION - OVER 1 IN	R 601-46120-34601 WATER H
601	06/25/15	\$1,200.00	5161	WATER CONNECTION - OVER 1 IN	R 601-46120-34601 WATER H
601	05/28/15	\$350.00	5078	WATER METER - TO 1 IN (INCLUDES INS	R 601-46120-34602 WATER M
601	05/28/15	\$350.00	5079	WATER METER - TO 1 IN (INCLUDES INS	R 601-46120-34602 WATER M
601	06/22/15	\$350.00	5147	WATER METER - TO 1 IN (INCLUDES INS	R 601-46120-34602 WATER M
601	06/25/15	\$350.00	5161	WATER METER - TO 1 IN (INCLUDES INS	R 601-46120-34602 WATER M
601	06/03/15	\$110.74	0	UB UR Receipt Group 01 CITY WIDE	R 601-46120-37110 WATER R
601	06/18/15	\$0.04	0	UB UR Receipt Group 01 CITY WIDE	R 601-46120-37110 WATER R
601	06/25/15	\$182.69	0	UB UR Receipt Group 01 CITY WIDE	R 601-46120-37110 WATER R
FUND 601 WATER		\$7,721.84			
FUND 602 SEWER					
602	06/11/15	\$10.00	0	UB Receipt Serv Pen 10 SEWER	G 602-14602 SEWER BILLING
602	06/30/15	\$7.50	0	UB Receipt Serv Pen 10 SEWER	G 602-14602 SEWER BILLING
602	06/11/15	\$185.78	0	UB Receipt Serv 10 SEWER	G 602-14602 SEWER BILLING
602	06/03/15	\$386.67	0	UB Receipt Serv 10 SEWER	G 602-14602 SEWER BILLING
602	06/25/15	\$142.08	0	UB Receipt Serv 10 SEWER	G 602-14602 SEWER BILLING
602	06/18/15	\$111.90	0	UB Receipt Serv 10 SEWER	G 602-14602 SEWER BILLING
602	06/18/15	\$8.48	0	UB Receipt Serv Pen 10 SEWER	G 602-14602 SEWER BILLING
602	06/30/15	\$169.86	0	UB Receipt Serv 10 SEWER	G 602-14602 SEWER BILLING
602	06/25/15	\$19,795.86	0	UB Receipt Serv 19 PRISON SEWER	G 602-14602 SEWER BILLING
602	06/25/15	\$428.85	0	UB Receipt Serv 11 NSP SEWER	G 602-14602 SEWER BILLING
602	06/25/15	\$3.71	0	UB Receipt Serv Pen 10 SEWER	G 602-14602 SEWER BILLING
602	06/03/15	\$17.66	0	UB Receipt Serv Pen 10 SEWER	G 602-14602 SEWER BILLING
602	05/28/15	\$800.00	5081	SEWER CONNECTION (INCLUDES INSPEC	R 602-46200-34651 SEWER H
602	05/28/15	\$800.00	5082	SEWER CONNECTION (INCLUDES INSPEC	R 602-46200-34651 SEWER H
602	05/28/15	\$800.00	5082	SEWER CONNECTION (INCLUDES INSPEC	R 602-46200-34651 SEWER H
602	06/22/15	\$800.00	5147	SEWER CONNECTION (INCLUDES INSPEC	R 602-46200-34651 SEWER H
FUND 602 SEWER		\$24,468.35			
FUND 803 P & Z ESCROWS					
803	06/10/15	\$15,000.00	5123	MATTAMY MN PARTNERSHIP ESCROW CK	R 803-80055-34100 P & Z PE
FUND 803 P & Z E		\$15,000.00			
		\$136,815.01			

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FUND 101 GENERAL					
41100	ELECTIONS	\$1,000.00	\$100.77	\$899.23	89.92%
41200	MAYOR & COUNCIL	\$194,540.00	\$96,665.33	\$97,874.67	50.31%
41240	RECYCLING	\$7,115.00	\$1,813.15	\$5,301.85	74.52%
41400	ADMINISTRATION	\$155,337.00	\$73,082.94	\$82,254.06	52.95%
41910	PLANNING & ZONING	\$240,697.00	\$109,865.46	\$130,831.54	54.36%
41940	MUNICIPAL BUILDINGS	\$49,050.00	\$20,121.72	\$28,928.28	58.98%
42100	POLICE	\$788,668.00	\$375,260.34	\$413,407.66	52.42%
42200	FIRE PROTECTION	\$491,432.00	\$172,100.34	\$319,331.66	64.98%
42201	FIRE STATION	\$0.00	\$72,985.87	-\$72,985.87	0.00%
43100	STREET MAINT	\$308,003.00	\$81,050.27	\$226,952.73	73.69%
43130	STREET - FLOOD PREPARATION	\$0.00	\$0.00	\$0.00	0.00%
43135	56TH ST & PICKETT AVE TRAIL	\$0.00	\$0.00	\$0.00	0.00%
43140	HAYNER/2ND ST. S UTILITY PR	\$0.00	\$1,247.92	-\$1,247.92	0.00%
43160	STREET LIGHTING	\$31,750.00	\$13,063.33	\$18,686.67	58.86%
43200	PARKS	\$64,928.00	\$35,053.15	\$29,874.85	46.01%
43300	CEMETERY	\$7,475.00	\$963.06	\$6,511.94	87.12%
44100	PROJECT	\$50,000.00	\$0.00	\$50,000.00	100.00%
FUND 101 GENERAL		\$2,389,995.00	\$1,053,373.65	\$1,336,621.35	55.93%
FUND 208 PRISON SEWER PROJECT					
44100	PROJECT	\$0.00	\$0.00	\$0.00	0.00%
FUND 208 PRISON SEWER PROJECT		\$0.00	\$0.00	\$0.00	0.00%
FUND 209 DEVELOPER REIMBURSED PROJECTS					
41911	BAYTOWN DEVELOPMENTS	\$0.00	\$0.00	\$0.00	0.00%
41912	INSPIRATION	\$0.00	\$0.00	\$0.00	0.00%
41913	EMERALD FALLS	\$0.00	\$0.00	\$0.00	0.00%
FUND 209 DEVELOPER REIMBURSED PROJ		\$0.00	\$0.00	\$0.00	0.00%
FUND 210 K-9 UNIT					
42103	K - 9 UNIT	\$0.00	\$0.00	\$0.00	0.00%
FUND 210 K-9 UNIT		\$0.00	\$0.00	\$0.00	0.00%
FUND 211 LIBRARY					
45500	LIBRARY	\$295,300.00	\$138,003.54	\$157,296.46	53.27%
FUND 211 LIBRARY		\$295,300.00	\$138,003.54	\$157,296.46	53.27%
FUND 400 NEW FIRE STATION					
42201	FIRE STATION	\$0.00	\$267,402.31	-\$267,402.31	0.00%
FUND 400 NEW FIRE STATION		\$0.00	\$267,402.31	-\$267,402.31	0.00%
FUND 412 CEMETERY CAPITAL IMPROV					
41600	CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	0.00%
43300	CEMETERY	\$0.00	\$0.00	\$0.00	0.00%
FUND 412 CEMETERY CAPITAL IMPROV		\$0.00	\$0.00	\$0.00	0.00%
FUND 413 POLICE EQUIPMENT FUND					

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41900	CAPITAL IMPROVEMENTS	\$0.00	\$0.00	\$0.00	0.00%
42100	POLICE	\$0.00	\$0.00	\$0.00	0.00%
FUND 413 POLICE EQUIPMENT FUND		\$0.00	\$0.00	\$0.00	0.00%
FUND 414 OFFICE AUTOMATION					
00000	GENERAL GOVERNMENT	\$0.00	\$0.00	\$0.00	0.00%
41400	ADMINISTRATION	\$0.00	\$0.00	\$0.00	0.00%
41910	PLANNING & ZONING	\$0.00	\$0.00	\$0.00	0.00%
42100	POLICE	\$0.00	\$0.00	\$0.00	0.00%
43100	STREET MAINT	\$0.00	\$0.00	\$0.00	0.00%
43200	PARKS	\$0.00	\$0.00	\$0.00	0.00%
46120	WATER	\$0.00	\$0.00	\$0.00	0.00%
46200	SEWER - OPERATING	\$0.00	\$0.00	\$0.00	0.00%
FUND 414 OFFICE AUTOMATION		\$0.00	\$0.00	\$0.00	0.00%
FUND 415 MUNICIPAL BLDGS MAINT					
41600	CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	0.00%
41900	CAPITAL IMPROVEMENTS	\$0.00	\$0.00	\$0.00	0.00%
41940	MUNICIPAL BUILDINGS	\$0.00	\$0.00	\$0.00	0.00%
FUND 415 MUNICIPAL BLDGS MAINT		\$0.00	\$0.00	\$0.00	0.00%
VD 601 WATER					
41609	TCE EVAL GRANT	\$0.00	\$0.00	\$0.00	0.00%
41610	LYNN MOST PROJECT	\$0.00	\$42,200.00	-\$42,200.00	0.00%
44151	TCE WATER MAIN IMPROVEME	\$0.00	\$0.00	\$0.00	0.00%
46110	WATER-PUMPHOUSE	\$47,450.00	\$20,019.98	\$27,430.02	57.81%
46120	WATER	\$457,098.00	\$166,173.05	\$290,924.95	63.65%
FUND 601 WATER		\$504,548.00	\$228,393.03	\$276,154.97	54.73%
FUND 602 SEWER					
44100	PROJECT	\$0.00	\$0.00	\$0.00	0.00%
46200	SEWER - OPERATING	\$308,687.00	\$104,243.78	\$204,443.22	66.23%
46990	SEWER - NON-OPERATING	\$0.00	\$219,954.00	-\$219,954.00	0.00%
FUND 602 SEWER		\$308,687.00	\$324,197.78	-\$15,510.78	-5.02%
FUND 800 INVESTMENTS-POOLED					
00000	GENERAL GOVERNMENT	\$0.00	\$0.00	\$0.00	0.00%
47000	INTEREST EXP	\$0.00	\$0.00	\$0.00	0.00%
80056	KYLE CARLSON	\$0.00	\$0.00	\$0.00	0.00%
FUND 800 INVESTMENTS-POOLED		\$0.00	\$0.00	\$0.00	0.00%
FUND 803 P & Z ESCROWS					
41910	PLANNING & ZONING	\$0.00	\$0.00	\$0.00	0.00%
41912	INSPIRATION	\$0.00	\$0.00	\$0.00	0.00%
80001	ANDERSEN ESCROW	\$0.00	\$0.00	\$0.00	0.00%
80003	BAYTOWN ANNEXATION	\$0.00	\$0.00	\$0.00	0.00%
80006	OSTERTAG VARIANCE	\$0.00	\$0.00	\$0.00	0.00%

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80008	CHARLES LUTZ STREET VACATI	\$0.00	\$0.00	\$0.00	0.00%
80010	JERRY PETERSON ESCROW	\$0.00	\$0.00	\$0.00	0.00%
80011	CAPTAINS CORNER	\$0.00	\$0.00	\$0.00	0.00%
80012	FRIENDS OF ST. CROIX PREP.	\$0.00	\$0.00	\$0.00	0.00%
80013	BAYPORT MARINA	\$0.00	\$0.00	\$0.00	0.00%
80014	GROUP 41	\$0.00	\$0.00	\$0.00	0.00%
80015	GARY SWAGER	\$0.00	\$0.00	\$0.00	0.00%
80016	PETE MILLER - PHASE 11/BAYT	\$0.00	\$0.00	\$0.00	0.00%
80017	AMERICAN LEGION POST 491	\$0.00	\$0.00	\$0.00	0.00%
80018	MSCWM PERRO CREEK OUTLET	\$0.00	\$0.00	\$0.00	0.00%
80019	JG HAUSE CONSTRUCTION	\$0.00	\$0.00	\$0.00	0.00%
80020	HYNNEK CUP APPLICATION	\$0.00	\$0.00	\$0.00	0.00%
80021	GORDON TELLINGHUISEN	\$0.00	\$0.00	\$0.00	0.00%
80022	DUANCE JOHNSON	\$0.00	\$0.00	\$0.00	0.00%
80023	MI-TECH SERVICES, INC.	\$0.00	\$0.00	\$0.00	0.00%
80024	RICK PARENT	\$0.00	\$0.00	\$0.00	0.00%
80025	JUDY SEEBERGER	\$0.00	\$0.00	\$0.00	0.00%
80026	MIDWEST PARA TRANSIT	\$0.00	\$0.00	\$0.00	0.00%
80027	CEMETARY - ST. MIKE S/ST. CH	\$0.00	\$0.00	\$0.00	0.00%
80028	ASPHALT SPEC - 111 CENTRAL	\$0.00	\$0.00	\$0.00	0.00%
80029	BRIAN ZELLER	\$0.00	\$0.00	\$0.00	0.00%
80030	LARKIN HOFFMAN & LUNDGREN	\$0.00	\$0.00	\$0.00	0.00%
80031	VALLEY GREEN	\$0.00	\$0.00	\$0.00	0.00%
80040	HEFTY	\$0.00	\$0.00	\$0.00	0.00%
80041	VALLEY GREEN	\$0.00	\$0.00	\$0.00	0.00%
80042	LANDFORM/VARDE GROUP	\$0.00	\$0.00	\$0.00	0.00%
80043	MAINSTREET HOLDING, LLC	\$0.00	\$0.00	\$0.00	0.00%
80044	HAYNER PROPERTY FEASIB STU	\$0.00	\$0.00	\$0.00	0.00%
80045	DRH-INSPIRATION PHASE II PL	\$0.00	\$190.60	-\$190.60	0.00%
80046	JOE BUSH/DAVID KLINGER	\$0.00	\$0.00	\$0.00	0.00%
80047	JANE KEYES	\$0.00	\$0.00	\$0.00	0.00%
80048	KAEMMER/VRAMBOUT	\$0.00	\$0.00	\$0.00	0.00%
80049	AMERICAN LEGION	\$0.00	\$0.00	\$0.00	0.00%
80050	12 POINT ROAD	\$0.00	\$0.00	\$0.00	0.00%
80051	BERGSTROM/ ENG & GRADING	\$0.00	\$693.31	-\$693.31	0.00%
80052	MILLER EXCAVATING WATER SE	\$0.00	\$0.00	\$0.00	0.00%
80053	CHRIS HAYNER	\$0.00	\$46.00	-\$46.00	0.00%
80054	LYNN MOST	\$0.00	\$0.00	\$0.00	0.00%
80055	MATTAMY MN PARTNERSHIP	\$0.00	\$25,068.00	-\$25,068.00	0.00%
80056	KYLE CARLSON	\$0.00	\$146.59	-\$146.59	0.00%
80058	MILLER FARMS/DERRICK PHASE	\$0.00	\$588.02	-\$588.02	0.00%
FUND 803 P & Z ESCROWS		\$0.00	\$26,732.52	-\$26,732.52	0.00%

CITY OF BAYPORT
EXPENSE SUMMARY YTD THRU 06/30/2015

5 Month = 50.04

DEPT	DEPT Descr	2015 Budget	2015 YTD Amt	Balance	2015 % of Budget Remain
		\$3,498,530.00	\$2,038,102.83	\$1,460,427.17	41.74%

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Period Name: JUNE

Search Name	FU	Tran Date	Amount	A ct	DEPT	OBJ	Comments	OBJ Descr	Check Nbr
FUND 101 GENERAL									
DEPT 41100 ELECTIONS									
GOULETTE, MR PAUL	101	06/03/15	\$110.00	E	41100	104	11 HRS 2015 SCHOOL DI	ELECTION SALARI	005856
STIEGFRIED, COLEEN	101	06/03/15	\$168.00	E	41100	104	14 HRS 2015 SCHOOL DI	ELECTION SALARI	005866
WILLIAMS, MARY	101	06/03/15	\$30.00	E	41100	104	3 HRS 2015 SCHOOL DIS	ELECTION SALARI	005870
KLOS, JUDY	101	06/03/15	\$70.00	E	41100	104	7 HRS 2015 SCHOOL DIS	ELECTION SALARI	005858
LAKE, MEREDETH	101	06/03/15	\$70.00	E	41100	104	7 HRS 2015 SCHOOL DIS	ELECTION SALARI	005859
KELLY, ELIZABETH	101	06/03/15	\$80.00	E	41100	104	8 HRS 2015 SCHOOL DIS	ELECTION SALARI	005857
OSTERTAG, MARY	101	06/03/15	\$80.00	E	41100	104	8 HRS 2015 SCHOOL DIS	ELECTION SALARI	005864
U S BANK VISA	101	06/02/15	\$37.88	E	41100	220	ADMIN CC#4798175443	OPERATING SUPP	005867
U S BANK VISA	101	06/02/15	\$5.36	E	41100	220	ADMIN CC#4798175443	OPERATING SUPP	005867
U S BANK VISA	101	06/02/15	\$34.51	E	41100	220	ADMIN CC#4798175443	OPERATING SUPP	005867
U S BANK VISA	101	06/02/15	\$8.77	E	41100	220	ADMIN CC#4798175443	OPERATING SUPP	005867
U S BANK VISA	101	06/02/15	\$17.21	E	41100	220	ADMIN CC#4798175443	OPERATING SUPP	005867
DEPT 41100 ELECTIONS			\$711.73						
DEPT 41200 MAYOR & COUNCIL									
U S BANK VISA	101	06/02/15	\$5.92	E	41200	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
U S BANK VISA	101	06/25/15	\$5.81	E	41200	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
BUSINESS FORMS & ACCO	101	06/25/15	\$23.40	E	41200	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
ECKBERG LAMMERS	101	06/29/15	\$97.50	E	41200	300	REVIEW CC MTG AGEND	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$225.00	E	41200	300	ATTEND STAFF MTG	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$75.00	E	41200	300	ASSISTANT CA PURCHAS	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$52.50	E	41200	300	RESIDENT REQUEST FOR	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$75.00	E	41200	300	REVIEW CC MTG AGEND	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$250.00	E	41200	300	ATTEND CC MTG	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$37.50	E	41200	300	PLANNING COMMISSION	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$30.00	E	41200	300	BOND ISSUE AUTHORIZA	PROF SER-LEGAL	005936
S E H	101	06/24/15	\$63.98	E	41200	301	ATTEND CC MTG	PROF SER-ENGIN	005961
S E H	101	06/24/15	\$768.23	E	41200	301	ATTEND STAFF MTGS 5/	PROF SER-ENGIN	005961
SCHLENNER WENNER & C	101	06/24/15	\$1,570.00	E	41200	303	PROFESSIONAL SERVICE	PROF SER-AUDIT	050427
WASHINGTON COUNTY G	101	06/10/15	\$13,514.92	E	41200	304	2015 ASSESSING SERVIC	PROF SER-ASSESS	005899
WASHINGTON COUNTY	101	06/10/15	\$183.00	E	41200	306	2015 SA BILLING	PROF SER-OTHER	005898
COMPLETE HEALTH ENVI	101	06/25/15	\$360.00	E	41200	306	MAY 2015 MAINTENANC	PROF SER-OTHER	005934
ECM PUBLISHERS, INC.	101	06/24/15	-\$228.24	E	41200	350	STATEMENT OF REVENU	PRINTING & PUBL	005880
ECM PUBLISHERS, INC.	101	06/10/15	\$228.24	E	41200	350	STATEMENT OF REVENU	PRINTING & PUBL	005880
ROSE FLORAL & GREENH	101	06/29/15	\$1,680.00	E	41200	540	2015 PLANTS/POLES	CONTINGENCY	005960
DEPT 41200 MAYOR & COUNCIL			\$19,017.76						
DEPT 41400 ADMINISTRATION									
U S BANK VISA	101	06/02/15	\$35.53	E	41400	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
BUSINESS FORMS & ACCO	101	06/25/15	\$140.40	E	41400	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	101	06/25/15	\$34.87	E	41400	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
TR COMPUTER SALES LLC	101	06/24/15	\$84.37	E	41400	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
TR COMPUTER SALES LLC	101	06/24/15	\$97.50	E	41400	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
U S BANK VISA	101	06/02/15	-\$8.21	E	41400	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
MINNESOTA CITY/COUNT	101	06/24/15	\$100.00	E	41400	433	MEMBERSHIP 2015-2016	DUES & MEMBERS	005949
MUNICIPAL CLERKS AND	101	06/03/15	\$35.00	E	41400	433	2015 MEMBERSHIP/S TA	DUES & MEMBERS	005862
MUNICIPAL CLERKS AND	101	06/03/15	-\$35.00	E	41400	433	2015 MEMBERSHIP/S TA	DUES & MEMBERS	005829
DEPT 41400 ADMINISTRATION			\$484.46						
DEPT 41910 PLANNING & ZONING									
BUSINESS FORMS & ACCO	101	06/25/15	\$117.00	E	41910	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	101	06/02/15	\$29.61	E	41910	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867

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U S BANK VISA	101	06/25/15	\$29.06	E	41910	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
HOLIDAY FLEET	101	06/10/15	\$97.87	E	41910	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
S E H	101	06/24/15	\$286.35	E	41910	301	5TH ST. N GROUNDWAT	PROF SER-ENGIN	005961
S E H	101	06/24/15	\$652.46	E	41910	301	REVIEW ROW VACATION	PROF SER-ENGIN	005961
U S BANK VISA	101	06/02/15	\$135.00	E	41910	402	ADMIN CC#4798175443	CONFERENCES &	005867
U S BANK VISA	101	06/25/15	\$50.00	E	41910	402	ADMINCC#47981754430	CONFERENCES &	005970
GREAT PLAINS INSTITUTE	101	06/25/15	\$25.00	E	41910	402	MEPC REGISTRATION FO	CONFERENCES &	005939
U S BANK VISA	101	06/02/15	\$239.00	E	41910	402	ADMIN CC#4798175443	CONFERENCES &	005867
U S BANK VISA	101	06/02/15	-\$8.21	E	41910	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
TR COMPUTER SALES LLC	101	06/24/15	\$70.31	E	41910	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
TR COMPUTER SALES LLC	101	06/24/15	\$81.25	E	41910	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
DEPT 41910 PLANNING & ZONING			<u>\$1,804.70</u>						
DEPT 41940 MUNICIPAL BUILDINGS									
JOHNSON, CHAD	101	06/25/15	\$325.00	E	41940	302	JUNE 2015 CLEANING SE	CONTRACT SERVI	005944
COMCAST	101	06/30/15	\$68.77	E	41940	321	JULY 2015 HIGH SPEED I	COMMUNICATION	005933
OFFICE OF ENT TECHNOL	101	06/25/15	\$460.05	E	41940	321	PHONES/CITY HALL	COMMUNICATION	005955
COMCAST	101	06/02/15	\$68.77	E	41940	321	JUNE 2015 HIGH-SPEED	COMMUNICATION	005854
XCEL	101	06/10/15	\$606.20	E	41940	380	GAS & ELECTRIC SERVIC	ELECTRIC SERVIC	005902
XCEL	101	06/10/15	\$120.79	E	41940	381	GAS & ELECTRIC SERVIC	FUEL FOR HEAT	005902
MINNESOTA ELEVATOR	101	06/25/15	\$150.04	E	41940	420	JUNE BI-MONTHLY SERV	R & M BLDGS, ST	005950
ANDERSON HEATING	101	06/25/15	\$122.00	E	41940	420	LEAK ROOFTOP/BLDG DE	R & M BLDGS, ST	005925
DEPT 41940 MUNICIPAL BUILDING			<u>\$1,921.62</u>						
DEPT 42100 POLICE									
BUSINESS FORMS & ACCO	101	06/25/15	\$117.00	E	42100	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	101	06/02/15	\$29.61	E	42100	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
U S BANK VISA	101	06/25/15	\$29.06	E	42100	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
U S BANK VISA	101	06/25/15	\$150.50	E	42100	202	STADRI	UNIFORMS - MISC	005970
U S BANK VISA	101	06/25/15	\$609.43	E	42100	202	GALLS INTERN	UNIFORMS - MISC	005970
U S BANK VISA	101	06/02/15	\$9.99	E	42100	202	GANDER MOUNTAIN	UNIFORMS - MISC	005867
SCHIPP, NICHOLAS	101	06/24/15	\$90.00	E	42100	202	POST LICENSE REIMBUS	UNIFORMS - MISC	050426
HOLIDAY FLEET	101	06/10/15	\$70.00	E	42100	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
WASHINGTON COUNTY S	101	06/10/15	\$1,455.25	E	42100	212	MAY 2015 FUEL/POLICE	MOTOR FUELS & L	005901
EASTMAN, LAURA	101	06/24/15	\$34.14	E	42100	220	ACE HARDWARE REFUND	OPERATING SUPP	050417
XCEL ENERGY CORP	101	06/10/15	\$24.25	E	42100	220	#13862258 CHERYL SCH	OPERATING SUPP	005903
DVS RENEWAL	101	06/03/15	\$42.00	E	42100	220	2005 STRN REGISTRATI	OPERATING SUPP	005855
WASHINGTON COUNTY P	101	06/25/15	\$130.00	E	42100	220	HAZARDOUS WASTE GEN	OPERATING SUPP	005971
U S BANK VISA	101	06/25/15	\$5.35	E	42100	220	HOLIDAY	OPERATING SUPP	005970
U S BANK VISA	101	06/25/15	\$85.89	E	42100	220	ULINE	OPERATING SUPP	005970
ECKBERG LAMMERS	101	06/10/15	\$2,437.97	E	42100	300	MAY 2015 PROSECUTION	PROF SER-LEGAL	005879
ECKBERG LAMMERS	101	06/29/15	\$300.00	E	42100	300	REVIEW DATA PRACTICE	PROF SER-LEGAL	005936
ECKBERG LAMMERS	101	06/29/15	\$37.50	E	42100	300	REVIEW MEMO POLICE R	PROF SER-LEGAL	005936
STILLWATER MEDICAL GR	101	06/25/15	\$238.00	E	42100	306	SCREENING TEST-SCHIP	PROF SER-OTHER	005965
CAMPION BARROW & ASS	101	06/10/15	\$415.00	E	42100	306	POST OFFICER TRAININ	PROF SER-OTHER	005876
THOMAS REUTERS - WES	101	06/10/15	\$170.00	E	42100	321	MAY 2015 INFORMATION	COMMUNICATION	005894
VERIZON WIRELESS	101	06/24/15	\$105.03	E	42100	321	AIR CARDS/POLICE DEPT	COMMUNICATION	050432
U S BANK VISA	101	06/02/15	\$18.82	E	42100	403	WALGREENS	POLICE TRAINING	005867
U S BANK VISA	101	06/25/15	\$45.00	E	42100	403	MINNESOTA CHIEFS	POLICE TRAINING	005970
U S BANK VISA	101	06/02/15	\$3.72	E	42100	403	WM SUPERCENTER	POLICE TRAINING	005867
U S BANK VISA	101	06/02/15	\$54.90	E	42100	403	SUBWAY	POLICE TRAINING	005867
U S BANK VISA	101	06/02/15	\$59.95	E	42100	403	CARBONES PIZZERIA	POLICE TRAINING	005867
U S BANK VISA	101	06/02/15	\$10.58	E	42100	403	WAL-MART	POLICE TRAINING	005867
U S BANK VISA	101	06/02/15	\$40.17	E	42100	412	LOWES	REP & MAINT VEH	005867
U S BANK VISA	101	06/02/15	-\$8.21	E	42100	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867

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U S BANK VISA	101	06/25/15	\$5.81	E	43100	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
BUSINESS FORMS & ACCO	101	06/25/15	\$23.40	E	43100	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	101	06/02/15	\$5.92	E	43100	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
HOLIDAY FLEET	101	06/10/15	\$388.83	E	43100	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
SAFE-FAST, INC.	101	06/24/15	\$70.00	E	43100	220	INV # 151923 SAFETY C	OPERATING SUPP	050425
CENTURY POWER EQUIP	101	06/10/15	\$799.00	E	43100	240	LAWN MOWER/STREET D	SMALL TOOLS-EQ	005878
ZACKS, INC.	101	06/25/15	\$290.63	E	43100	240	OPERATING SUPPLIES/S	SMALL TOOLS-EQ	005973
CENTURY POWER EQUIP	101	06/25/15	\$314.96	E	43100	240	STRING TRIMMER/STRE	SMALL TOOLS-EQ	005932
S E H	101	06/24/15	\$163.11	E	43100	301	MTG WITH STAFF OF VA	PROF SER-ENGIN	005961
STILLWATER MEDICAL GR	101	06/25/15	\$68.00	E	43100	306	SCREENING JEFFREY JAC	PROF SER-OTHER	005965
CENTURY POWER EQUIP	101	06/10/15	\$36.30	E	43100	412	MOWER BLADES/STREET	REP & MAINT VEH	005878
BOYER TRUCKS	101	06/10/15	\$830.91	E	43100	412	SERVICE TRUCK #1/STR	REP & MAINT VEH	005875
CARQUEST OF STILLWAT	101	06/10/15	\$18.13	E	43100	412	CAPS & CUTOFF WHEELS	REP & MAINT VEH	005877
CARQUEST OF STILLWAT	101	06/10/15	\$14.01	E	43100	412	VALVE EXTENTIONS/STR	REP & MAINT VEH	005877
J. R. TRANSMISSION	101	06/25/15	\$97.95	E	43100	412	BATTERY-CLUB CAR/STR	REP & MAINT VEH	005943
STILLWATER TOWING IN	101	06/25/15	\$85.00	E	43100	412	TRUCK INSPECTIONS/ST	REP & MAINT VEH	005967
STILLWATER TOWING IN	101	06/25/15	\$87.00	E	43100	412	TRUCK INSPECTIONS/ST	REP & MAINT VEH	005967
SAVATREE	101	06/10/15	\$560.00	E	43100	413	STUMP GRINDING/STRE	TREES	005893
TR COMPUTER SALES LLC	101	06/24/15	\$16.25	E	43100	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
U S BANK VISA	101	06/02/15	-\$8.21	E	43100	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
TR COMPUTER SALES LLC	101	06/24/15	\$14.06	E	43100	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
ROETTGER WELDING	101	06/25/15	\$96.00	E	43100	420	STORM SEWER GANTE/S	R & M BLDGS, ST	005959
BRYAN ROCK PRODUCTS I	101	06/25/15	\$1,025.87	E	43100	421	LIMEROCK GRAVEL/STRE	REPAIR & MAINT	005929
ACTION RENTAL	101	06/10/15	\$222.00	E	43100	431	EXCAVATOR RENTAL - C	RENTAL OF EQUIP	005871
DEPT 43100 STREET MAINT			\$5,224.93						
DEPT 43140 HAYNER/2ND ST. S UTILITY PROJE									
S E H	101	06/24/15	\$163.11	E	43140	301	2nd ST UTILITY PROJEC	PROF SER-ENGIN	005961
DEPT 43140 HAYNER/2ND ST. S UT			\$163.11						
DEPT 43160 STREET LIGHTING									
XCEL	101	06/10/15	\$2,128.75	E	43160	380	GAS & ELECTRIC SERVIC	ELECTRIC SERVIC	005902
DEPT 43160 STREET LIGHTING			\$2,128.75						
DEPT 43200 PARKS									
SAFE-FAST, INC.	101	06/25/15	\$717.10	E	43200	202	SHIRTS-TEMP HELP/PAR	UNIFORMS - MISC	005962
HOLIDAY FLEET	101	06/10/15	\$200.36	E	43200	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
U S BANK VISA	101	06/10/15	\$129.97	E	43200	220	STILLWATER FARM STOR	OPERATING SUPP	005895
GERTENS	101	06/10/15	\$798.50	E	43200	220	OPERATING SUPPLIES/P	OPERATING SUPP	005881
MENARDS-STILLWATER	101	06/25/15	\$25.94	E	43200	410	ANTI SKID - DOCK/PARK	REPAIR & MAINT	005947
RIDGWAY, KIT	101	06/10/15	\$161.53	E	43200	410	PLANTS REBURSEMENT/	REPAIR & MAINT	005892
CENTURY POWER EQUIP	101	06/10/15	\$67.85	E	43200	412	BLADES & ROUND LINES	REP & MAINT VEH	005878
CROSS NURSERIES	101	06/25/15	\$1,302.60	E	43200	413	TREES-LAKESIDE PARK/P	TREES	005935
ACTION RENTAL	101	06/25/15	\$264.75	E	43200	413	EXCAVATOR RENTAL-TR	TREES	005922
CROSS NURSERIES	101	06/25/15	\$1,606.40	E	43200	413	TREES-BARKERS ALPS/P	TREES	005935
ACTION RENTAL	101	06/10/15	\$267.00	E	43200	413	TREES - EXCAVATOR RE	TREES	005871
U S BANK VISA	101	06/02/15	-\$8.21	E	43200	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
TR COMPUTER SALES LLC	101	06/24/15	\$14.06	E	43200	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
TR COMPUTER SALES LLC	101	06/24/15	\$16.25	E	43200	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
ACTION RENTAL	101	06/25/15	\$18.00	E	43200	420	DIESEL FUEL/PARK DEPT	R & M BLDGS, ST	005922
U S BANK VISA	101	06/02/15	\$618.05	E	43200	420	ADMIN CC#4798175443	R & M BLDGS, ST	005867
PETERSON COMPANIES, I	101	06/25/15	\$117.50	E	43200	420	BEACH HOUSE IRRIGATI	R & M BLDGS, ST	005956
AIR FRESH PORTABLE TOI	101	06/25/15	\$157.50	E	43200	425	BARKERS ALPS 5/28/15-	SATILLITIES	005923
AIR FRESH PORTABLE TOI	101	06/25/15	\$78.75	E	43200	425	RIVERSIDE 6/3/15-6/30/	SATILLITIES	005923
AIR FRESH PORTABLE TOI	101	06/25/15	\$78.75	E	43200	425	TENNIS CT 6/5/15-7/2/1	SATILLITIES	005923

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DEPT 43200 PARKS			\$6,632.65						
DEPT 43300 CEMETERY									
HOLIDAY FLEET	101	06/10/15	\$28.06	E	43300	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
AIR FRESH PORTABLE TOI	101	06/10/15	\$150.00	E	43300	410	WEEKEND RENTAL/PARK	REPAIR & MAINT	005872
DEPT 43300 CEMETERY			\$178.06						
FUND 101 GENERAL			\$51,090.55						
FUND 202 DRUG FORFEITURE									
DEPT 42101 DARE EXPENDITURES									
MINNESOTA DEPT OF FIN	202	06/24/15	\$81.00	E	42101	449	CASE # 1013501293	DRUG FORFITURE	050422
WASHINTON COUNTY AT	202	06/24/15	\$162.00	E	42101	449	CASE # 113501293	DRUG FORFITURE	050433
DEPT 42101 DARE EXPENDITURES			\$243.00						
FUND 202 DRUG FORFEITURE			\$243.00						
FUND 211 LIBRARY									
DEPT 45500 LIBRARY									
BAKER & TAYLOR	211	06/29/15	\$134.42	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$349.25	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$321.01	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$251.91	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$46.90	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$83.62	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$94.81	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$408.31	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
BAKER & TAYLOR	211	06/29/15	\$58.97	E	45500	217	BOOKS/LIBRARY DEPT.	MATERIALS & PR	005926
INNOVATIVE OFFICE SOL	211	06/29/15	\$255.16	E	45500	220	SUPPLIES/LIBRARY DEPT	OPERATING SUPP	005942
TOSHIBA BUSINESS SOLU	211	06/29/15	\$246.94	E	45500	302	CURRENT CONTRACT SE	CONTRACT SERVI	005969
SHARON SIPPEL	211	06/03/15	\$1,875.00	E	45500	302	MAY 2015 CLEANING SE	CONTRACT SERVI	005865
SHARON SIPPEL	211	06/29/15	\$1,500.00	E	45500	302	JUNE 2015 CLEANING SE	CONTRACT SERVI	005964
COMCAST	211	06/30/15	\$90.55	E	45500	321	LIBRARY HIGHSPEED IN	COMMUNICATION	005933
COMCAST	211	06/02/15	\$90.55	E	45500	321	JUNE 2015 LIB HIGH SPE	COMMUNICATION	005854
OFFICE OF ENT TECHNOL	211	06/29/15	\$74.92	E	45500	321	PHONES/LIBRARY DEPT.	COMMUNICATION	005955
XCEL	211	06/10/15	\$834.91	E	45500	380	GAS & ELECTRIC SERVIC	ELECTRIC SERVIC	005902
XCEL	211	06/10/15	\$82.94	E	45500	381	GAS & ELECTRIC SERVIC	FUEL FOR HEAT	005902
THOENNES PLUMBING &	211	06/29/15	\$128.00	E	45500	420	REPLACEMENT/LIBRARY	R & M BLDGS, ST	005968
THOENNES PLUMBING &	211	06/29/15	\$103.00	E	45500	420	REPAIR KITCHEN SINK D	R & M BLDGS, ST	005968
MINNESOTA ELEVATOR	211	06/29/15	\$161.77	E	45500	420	JUNE MTHLY SERVICE/LI	R & M BLDGS, ST	005950
THOENNES PLUMBING &	211	06/24/15	\$741.00	E	45500	420	INSTAL WATER HEATER/	R & M BLDGS, ST	050429
THOENNES PLUMBING &	211	06/24/15	\$160.00	E	45500	420	LIBRARY	R & M BLDGS, ST	050429
HAMMEL, CYNTHIA	211	06/29/15	\$148.58	E	45500	420	FLOWERS/LIBRARY DEPT	R & M BLDGS, ST	005940
DEPT 45500 LIBRARY			\$8,242.52						
FUND 211 LIBRARY			\$8,242.52						
FUND 303 GO TIF BOND 1990 DEBT SERVICE									
DEPT 00000 GENERAL GOVERNMENT									
ECKBERG LAMMERS	303	06/29/15	\$150.00	E	00000	300	TIF - 1	PROF SER-LEGAL	005936
DEPT 00000 GENERAL GOVERNMENT			\$150.00						
FUND 303 GO TIF BOND 1990 DEBT SE			\$150.00						
FUND 400 NEW FIRE STATION									
DEPT 42201 FIRE STATION									
U S BANK VISA	400	06/02/15	\$4.99	E	42201	220	ADMIN CC#4798175443	OPERATING SUPP	005867

CITY OF BAYPORT
MONTHLY EXPENSES 5812-5973

Period Name: JUNE

Search Name	FU	Tran Date	Amount	A ct	DEPT	OBJ	Comments	OBJ Descr	Check Nbr
U S BANK VISA	400	06/02/15	\$15.96	E	42201	220	ADMIN CC#4798175443	OPERATING SUPP	005867
U S BANK VISA	400	06/02/15	\$37.95	E	42201	220	ADMIN CC#4798175443	OPERATING SUPP	005867
S E H	400	06/25/15	\$14,655.83	E	42201	301	FIRE STATION SURVEY &	PROF SER-ENGIN	005961
BRAUN INTERTEC	400	06/30/15	\$2,778.00	E	42201	302	CONSTRUCTION AND MA	CONTRACT SERVI	005928
MOODY S INVESTORS SE	400	06/30/15	\$11,000.00	E	42201	302	GO BOND SERIES 2015A	CONTRACT SERVI	005951
MILLER EXCAVATING	400	06/25/15	\$61,132.50	E	42201	302	NEW FIRE STATION	CONTRACT SERVI	005948
LEO A DALY	400	06/25/15	\$24,050.44	E	42201	302	NEW FIRE STATION	CONTRACT SERVI	005945
LEO A DALY	400	06/30/15	\$1,140.00	E	42201	302	MISCELLANIOUS/FIRE ST	CONTRACT SERVI	005945
DEPT 42201 FIRE STATION			\$114,815.67						
FUND 400 NEW FIRE STATION			\$114,815.67						
FUND 601 WATER									
DEPT 46110 WATER-PUMPHOUSE									
XCEL	601	06/10/15	\$2,091.40	E	46110	380	GAS & ELECTRIC SERVIC	ELECTRIC SERVIC	005902
XCEL	601	06/10/15	\$80.90	E	46110	381	GAS & ELECTRIC SERVIC	FUEL FOR HEAT	005902
MCCARTHY WELL COMPA	601	06/25/15	\$1,025.00	E	46110	419	5 PUMP PERFORMANCE	REPAIR & MAINT	005946
DEPT 46110 WATER-PUMPHOUSE			\$3,197.30						
DEPT 46120 WATER									
BERKLEY RISK SERVICES	601	06/10/15	\$2,500.00	E	46120	150	TIMOTHY GARDNER C00	WORKER S COMP	005874
BUSINESS FORMS & ACCO	601	06/25/15	\$23.40	E	46120	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	601	06/02/15	\$5.92	E	46120	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
U S BANK VISA	601	06/25/15	\$5.81	E	46120	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
HOLIDAY FLEET	601	06/10/15	\$334.71	E	46120	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
HOLIDAY FLEET	601	06/10/15	\$5.36	E	46120	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
U S BANK VISA	601	06/10/15	\$3.04	E	46120	216	USPS	CHEMICALS AND	005895
U S BANK VISA	601	06/10/15	\$5.95	E	46120	216	USPS	CHEMICALS AND	005895
HAWKINS WATER	601	06/25/15	\$40.00	E	46120	216	WATER TREATMENT CHL	CHEMICALS AND	005941
MVTL	601	06/25/15	\$54.00	E	46120	216	WATER TESTING/WATER	CHEMICALS AND	005952
U S BANK VISA	601	06/10/15	\$15.21	E	46120	216	THE UPS STORE	CHEMICALS AND	005895
U S BANK VISA	601	06/10/15	\$25.22	E	46120	240	MENARDS	SMALL TOOLS-EQ	005895
S E H	601	06/24/15	\$81.57	E	46120	301	HYDRANT SPECIFICATIO	PROF SER-ENGIN	005961
S E H	601	06/24/15	\$163.14	E	46120	301	TCE REMOVAL PROJECT	PROF SER-ENGIN	005961
SENSUS METERING SYSTE	601	06/25/15	\$1,570.34	E	46120	302	2015/2016 SOFTWARE S	CONTRACT SERVI	005963
ONE CALL CONCEPTS	601	06/10/15	\$110.25	E	46120	307	LOCATES / WATER DEPT,	GOPHER STATE O	005891
POSTMASTER	601	06/29/15	\$163.45	E	46120	322	2ND QTR. 2015 UTILITY	POSTAGE	005957
LEAGUE OF MN CITIES IN	601	06/24/15	\$2,500.00	E	46120	360	DEDUCTIBLE VEHICLE CL	INSURANCE/P&L	050420
XCEL	601	06/10/15	\$1,715.88	E	46120	380	GAS & ELECTRIC SERVIC	ELECTRIC SERVIC	005902
XCEL	601	06/10/15	\$195.19	E	46120	381	GAS & ELECTRIC SERVIC	FUEL FOR HEAT	005902
MINNESOTA DEPT OF HEA	601	06/10/15	\$23.00	E	46120	402	CLASS D CERTIFICATE/T	CONFERENCES &	005888
U S BANK VISA	601	06/10/15	\$96.68	E	46120	412	ASAP PARTS	REP & MAINT VEH	005895
GRAINGER	601	06/25/15	\$56.14	E	46120	412	PIPE FITTINGS/WATER D	REP & MAINT VEH	005938
BAUER BUILT	601	06/10/15	\$1,101.32	E	46120	412	2 TIRES & RIMS/WATER	REP & MAINT VEH	005873
FASTENAL	601	06/25/15	\$54.21	E	46120	412	HARDWARE-TANK TK/W	REP & MAINT VEH	005937
GRAINGER	601	06/25/15	\$205.45	E	46120	412	PIPE FITTINGS/WATER D	REP & MAINT VEH	005938
CARQUEST OF STILLWAT	601	06/25/15	\$3.53	E	46120	412	OPERATING MATERIAL/	REP & MAINT VEH	005931
U S BANK VISA	601	06/10/15	\$668.90	E	46120	412	SO ST. PAUL STEEL	REP & MAINT VEH	005895
U S BANK VISA	601	06/10/15	\$207.41	E	46120	412	RDO EQUIP	REP & MAINT VEH	005895
STILLWATER MOTORS	601	06/25/15	\$4.75	E	46120	412	TRUCK SERVICE/WATER	REP & MAINT VEH	005966
TR COMPUTER SALES LLC	601	06/24/15	\$14.06	E	46120	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
TR COMPUTER SALES LLC	601	06/24/15	\$16.25	E	46120	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
U S BANK VISA	601	06/02/15	-\$8.21	E	46120	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
NARDINI FIRE EQUIPMEN	601	06/25/15	\$76.19	E	46120	420	EXTINGUISHER SERVICE/	R & M BLDGS, ST	005953
MN DNR WATERS	601	06/24/15	\$1,324.67	E	46120	430	2014 WATER USE	MISC	050424

CITY OF BAYPORT
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MINNESOTA DEPT OF HEA	601	06/24/15	\$1,294.00	E	46120	434	2ND QTR 2015 CONNECT	STATE FEES FOR	050423
DEPT 46120 WATER			<u>\$14,656.79</u>						
FUND 601 WATER			\$17,854.09						
FUND 602 SEWER									
DEPT 46200 SEWER - OPERATING									
U S BANK VISA	602	06/25/15	\$5.83	E	46200	201	ADMINCC#47981754430	OFFICE SUPPLIES	005970
BUSINESS FORMS & ACCO	602	06/25/15	\$23.40	E	46200	201	OPERATING SUPPLIES	OFFICE SUPPLIES	005930
U S BANK VISA	602	06/02/15	\$5.94	E	46200	201	ADMIN CC#4798175443	OFFICE SUPPLIES	005867
HOLIDAY FLEET	602	06/10/15	\$75.75	E	46200	212	MAY 2015 FUEL	MOTOR FUELS & L	005883
S E H	602	06/24/15	\$424.90	E	46200	301	ATTEND MIDS MTG	PROF SER-ENGIN	005961
AIR FRESH PORTABLE TOI	602	06/25/15	\$70.00	E	46200	302	EXTRA PUMPING-INSPIR	CONTRACT SERVI	005923
POSTMASTER	602	06/29/15	\$163.45	E	46200	322	2ND QTR. 2015 UTILITY	POSTAGE	005957
MINNESOTA POLLUTION	602	06/10/15	\$23.00	E	46200	402	2015 MPCA- JOSHUA EIS	CONFERENCES &	005889
TR COMPUTER SALES LLC	602	06/24/15	\$14.08	E	46200	416	COMPUTER CONSULTING	REPAIR/MAINT OF	050430
U S BANK VISA	602	06/02/15	-\$8.20	E	46200	416	ADMIN CC#4798175443	REPAIR/MAINT OF	005867
TR COMPUTER SALES LLC	602	06/24/15	\$16.25	E	46200	416	JUNE 2015 MTHLY STOR	REPAIR/MAINT OF	050430
HD SUPPLY WATERWORK	602	06/24/15	\$54.32	E	46200	419	1002-1212 12 FLC CPG/	REPAIR & MAINT	050418
AUTOMATIC SYSTEMS CO	602	06/03/15	\$269.52	E	46200	419	LED BULBS - LIFT STATI	REPAIR & MAINT	005853
HD SUPPLY WATERWORK	602	06/16/15	-\$54.32	E	46200	419	SUPPLIES/SEWER DEPT.	REPAIR & MAINT	005812
DEPT 46200 SEWER - OPERATING			<u>\$1,083.92</u>						
DEPT 46990 SEWER - NON-OPERATING									
METROPOLITAN COUNCIL	602	06/24/15	\$31,422.00	E	46990	434	JULY 2015 ANNUAL FLO	STATE FEES FOR	050421
DEPT 46990 SEWER - NON-OPERAT			<u>\$31,422.00</u>						
FUND 602 SEWER			\$32,505.92						
FUND 803 P & Z ESCROWS									
DEPT 80055 MATTAMY MN PARTNERSHIP									
ECKBERG LAMMERS	803	06/29/15	\$650.00	E	80055	300	INSPIRATION PHASE 111	PROF SER-LEGAL	005936
S E H	803	06/25/15	\$3,324.37	E	80055	301	INSPIRATION PHASE 111	PROF SER-ENGIN	005961
WASHINGTON COUNTY R	803	06/25/15	\$46.00	E	80055	350	MATTAMY - INSPIRATIO	PRINTING & PUBL	005972
DEPT 80055 MATTAMY MN PARTNE			<u>\$4,020.37</u>						
DEPT 80056 KYLE CARLSON									
WASHINGTON COUNTY R	803	06/10/15	\$46.00	E	80056	350	P285146 - KYLE CARLSO	PRINTING & PUBL	005900
DEPT 80056 KYLE CARLSON			<u>\$46.00</u>						
DEPT 80058 MILLER FARMS/DERRICK PHASE 4									
S E H	803	06/24/15	\$588.02	E	80058	301	MILLER FARMS IV/DERRI	PROF SER-ENGIN	005961
DEPT 80058 MILLER FARMS/DERRI			<u>\$588.02</u>						
FUND 803 P & Z ESCROWS			<u>\$4,654.39</u>						
			<u>\$229,556.14</u>						

City of Bayport

294 North 3rd Street

Bayport, MN 55003

Phone: 651-275-4404

Fax: 651-275-4411

Building Permit Log

For: June, 2015

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Permit Number: BP2015-35	Filing Date: 6/1/2015
Parcel Address: 220 1ST Ave. S.	BAYPORT, MN 55003
Applicant: CAPRA UTILITIES INC.	Applicant Phone: 651-762-2500
CAPRA UTILITIES INC. EXCAVATION &	
Construction Value: \$0.00	Total Fees: \$3,285.00

Permit Number: BP2015-36	Filing Date: 6/1/2015
Parcel Address: 239 1st Avenue So.	Bayport, MN 55003
Applicant: CAPRA UTILITIES INC.	Applicant Phone: 651-762-2500
CAPRA UTILITIES INC. EXCAVATION &	
Construction Value: \$0.00	Total Fees: \$3,285.00

Permit Number: BP2015-37	Filing Date: 6/2/2015
Parcel Address: 1217 PIONEER TRAIL	BAYPORT, MN 55003
Applicant: CLEAR CHOICE RESTORATION	Applicant Phone: 651-226-7170
CLEAR CHOICE RESTORATION RESIDENTIAL	
Construction Value: \$6,000.00	Total Fees: \$135.75

Permit Number: BP2015-38	Filing Date: 6/2/2015
Parcel Address: 394 4th Street S.	Bayport, MN 55003
Applicant: TORRY KRAFTSON	Applicant Phone:
OWNER OWNER	
Construction Value: \$40,000.00	Total Fees: \$737.81

Permit Number: BP2015-39	Filing Date: 6/3/2015
Parcel Address: 100 4TH Ave. N.	BAYPORT, MN 55003
Applicant: MOSER HOMES INC.	Applicant Phone: 651-483-5132
MOSER HOMES INC. RESIDENTIAL BUILDER	
Construction Value: \$410,000.00	Total Fees: \$5,017.64

Building Permit Log

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Permit Number: BP2015-40
Parcel Address: 207 3rd St. So.
Applicant: CHARLIE LUTZ
OWNER OWNER

Filing Date: 6/3/2015
Bayport, MN 55003
Applicant Phone: |

Construction Value:\$1,000.00**Total Fees:** \$41.75

Permit Number: BP2015-41
Parcel Address: 433 4TH St. S.
Applicant:J. G. HAUSE CONSTRUCTION
J. G. HAUSE CONSTRUCTION RESIDENTIAL

Filing Date: 6/4/2015
BAYPORT, MN 55003
Applicant Phone: 651-439-0189

Construction Value:\$4,370.00**Total Fees:** \$125.19

Permit Number: BP2015-42
Parcel Address: 141 6th Street N.
Applicant:SUSSEL CORPORATION
SUSSEL CORPORATION RESIDENTIAL BUILDER

Filing Date: 6/9/2015
Bayport, MN 55003
Applicant Phone: 651-645-0331

Construction Value:\$17,100.00**Total Fees:** \$519.64

Permit Number: BP2015-43
Parcel Address: 520 PRAIRIE WAY S.
Applicant:JOHN JUNKER
OWNER OWNER

Filing Date: 6/16/2015
BAYPORT, MN 55003
Applicant Phone:

Construction Value:\$9,000.00**Total Fees:** \$296.55

Permit Number: BP2015-44
Parcel Address: 1032 PIONEER TRAIL
Applicant:MERIDIAN HOMES LLC
MERIDIAN HOMES LLC RESIDENTIAL BUILDER

Filing Date: 6/16/2015
BAYPORT, MN 55003
Applicant Phone: 651-583-4479

Construction Value:\$362,000.00**Total Fees:** \$10,353.44

Permit Number: BP2015-45
Parcel Address: 193 3rd Street N.
Applicant:J. G. HAUSE CONSTRUCTION
J. G. HAUSE CONSTRUCTION RESIDENTIAL

Filing Date: 6/16/2015
BAYPORT, MN 55003
Applicant Phone: 651-439-0189

Construction Value:\$25,000.00**Total Fees:** \$693.95

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Permit Number: BP2015-46
Parcel Address: 331 9TH St. N.
Applicant:RENEWAL BY ANDERSEN, INC.
RENEWAL BY ANDERSEN, INC. RESIDENTIAL
Construction Value:\$5,467.00
Filing Date: 6/17/2015
BAYPORT, MN 55003
Applicant Phone: 651-264-4777
Total Fees: \$140.48

Permit Number: BP2015-47
Parcel Address: 174 5TH Street S.
Applicant:RENEWAL BY ANDERSEN, INC.
RENEWAL BY ANDERSEN, INC. RESIDENTIAL
Construction Value:\$18,089.00
Filing Date: 6/17/2015
BAYPORT, MN 55003
Applicant Phone: 651-264-4777
Total Fees: \$338.54

Permit Number: BP2015-48
Parcel Address: 1022 PIONEER TRAIL
Applicant:LEGACY EXTERIOR LLC.
LEGACY EXTERIOR LLC. RESIDENTIAL BUILDER
Construction Value:\$7,800.00
Filing Date: 6/24/2015
BAYPORT, MN 55003
Applicant Phone: 651-775-0749
Total Fees: \$166.15

Permit Number: BP2015-49
Parcel Address: 1012 5th Avenue N.
Applicant:KRAUS-ANDERSON
KRAUS-ANDERSON CONSTRUCTION CO. General
Construction Value:\$4,000,000.00
Filing Date: 6/24/2015
Bayport, MN 55003
Applicant Phone: 612-332-7281
Total Fees: \$31,220.00

Permit Number: BP2015-50
Parcel Address: 304 PRAIRIE WAY S.
Applicant:MERIDIAN HOMES LLC
MERIDIAN HOMES LLC RESIDENTIAL BUILDER
Construction Value:\$353,000.00
Filing Date: 6/24/2015
BAYPORT, MN 55003
Applicant Phone: 651-583-4479
Total Fees: \$10,259.84

Permit Number: BP2015-51
Parcel Address: 243 3rd Street N.
Applicant:SUMMIT FIRE PROTECTION
SUMMIT FIRE PROTECTION FIRE SYSTEMS
Construction Value:\$13,350.00
Filing Date: 6/24/2015
Bayport, MN 55003
Applicant Phone: 651-251-1880
Total Fees: \$250.00

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Permit Number: BP2015-52**Parcel Address:** 538 PRAIRIE WAY S.**Applicant:**JOHN HASTER
OWNER OWNER**Construction Value:**\$10,000.00**Filing Date:** 6/30/2015

BAYPORT, MN 55003

Applicant Phone:**Total Fees:** \$321.39

Permit Number: EG2015-6**Parcel Address:** 220 1ST Ave. S.**Applicant:**CAPRA UTILITIES INC.
CAPRA UTILITIES INC. EXCAVATION &**Construction Value:****Filing Date:** 6/1/2015

BAYPORT, MN 55003

Applicant Phone: 651-762-2500**Total Fees:** \$350.00

Permit Number: EG2015-7**Parcel Address:** 239 1st Avenue So.**Applicant:**CAPRA UTILITIES INC.
CAPRA UTILITIES INC. EXCAVATION &**Construction Value:****Filing Date:** 6/1/2015

Bayport, MN 55003

Applicant Phone: 651-762-2500**Total Fees:** \$350.00

Permit Number: EG2015-8**Parcel Address:** 383 Central Ave.**Applicant:**MILLER EXCAVATING, INC.
MILLER EXCAVATING, INC. EXCAVATION &**Construction Value:****Filing Date:** 6/11/2015

BAYPORT, MN 55003

Applicant Phone: 651-439-1637**Total Fees:** \$350.00

Permit Number: MC2015-10**Parcel Address:** 479 MARINER DRIVE**Applicant:**SEDGWICK HEATING & AIR
SEDGWICK HEATING & AIR CONDITIONING**Construction Value:**\$1,575.00**Filing Date:** 6/11/2015

BAYPORT, MN 55003

Applicant Phone: 952-881-9000**Total Fees:** \$80.00

Permit Number: MC2015-11**Parcel Address:** 289 2ND St. N.**Applicant:**SCHWANTES HEATING & AIR INC
SCHWANTES HEATING & AIR INC MECHANICAL**Construction Value:**\$8,000.00**Filing Date:** 6/24/2015

BAYPORT, MN 55003

Applicant Phone: 651-439-3331**Total Fees:** \$80.00

Building Permit Log

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Permit Number: MC2015-12	Filing Date: 6/30/2015
Parcel Address: 1012 5th Avenue N.	Bayport, MN 55003
Applicant: HORWITZ , INC	Applicant Phone: 763-533-1900
HORWITZ , INC MECHANICAL/PLUMBER	
Construction Value: \$268,500.00	Total Fees: \$3,371.25

Permit Number: MC2015-9	Filing Date: 6/3/2015
Parcel Address: 100 4TH Ave. N.	BAYPORT, MN 55003
Applicant: ANDERSON HEATING, INC.	Applicant Phone: 715-549-6297
ANDERSON HEATING, INC. MECHANICAL	
Construction Value: \$82,000.00	Total Fees: \$1,030.00

Permit Number: PL2015-10	Filing Date: 6/1/2015
Parcel Address: 220 1ST Ave. S.	BAYPORT, MN 55003
Applicant: CAPRA UTILITIES INC.	Applicant Phone: 651-762-2500
CAPRA UTILITIES INC. EXCAVATION &	
Construction Value: \$2,000.00	Total Fees: \$80.00

Permit Number: PL2015-11	Filing Date: 6/1/2015
Parcel Address: 239 1st Avenue So.	Bayport, MN 55003
Applicant: CAPRA UTILITIES INC.	Applicant Phone: 651-762-2500
CAPRA UTILITIES INC. EXCAVATION &	
Construction Value: \$2,000.00	Total Fees: \$80.00

Permit Number: PL2015-12	Filing Date: 6/10/2015
Parcel Address: 11 POINT Road	BAYPORT, MN 55003
Applicant: SCHULTIES PLUMBING INC.	Applicant Phone: 763-786-4007
SCHULTIES PLUMBING INC. Plumber	
Construction Value: \$24,500.00	Total Fees: \$80.00

Permit Number: PL2015-13	Filing Date: 6/10/2015
Parcel Address: 100 4TH Ave. N.	BAYPORT, MN 55003
Applicant: SCHULTIES PLUMBING INC.	Applicant Phone: 763-786-4007
SCHULTIES PLUMBING INC. Plumber	
Construction Value: \$20,500.00	Total Fees: \$210.00

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Permit Number: PL2015-14	Filing Date: 6/24/2015
Parcel Address: 383 Central Ave.	BAYPORT, MN 55003
Applicant: MILLER EXCAVATING, INC. MILLER EXCAVATING, INC. EXCAVATION &	Applicant Phone: 651-439-1637
Construction Value: \$7,500.00	Total Fees: \$80.00

Permit Number: PL2015-15	Filing Date: 6/25/2015
Parcel Address: 3491 Pete Miller Ave. N.	Stillwater, MN 55082
Applicant: DERRICK CUSTOM HOMES, LLC DERRICK CUSTOM HOMES, LLC RESIDENTIAL	Applicant Phone: 715-246-2320
Construction Value:	Total Fees: \$1,630.00

Permit Number: PL2015-16	Filing Date: 6/30/2015
Parcel Address: 1012 5th Avenue N.	Bayport, MN 55003
Applicant: HORWITZ , INC HORWITZ , INC MECHANICAL/PLUMBER	Applicant Phone: 763-533-1900
Construction Value: \$225,600.00	Total Fees: \$2,835.00

Permit Number: SG2015-2	Filing Date: 6/3/2015
Parcel Address: INSPIRATION PHASE III-B	BAYPORT, MN 55003
Applicant: MATTAMY HOMES MATTAMY HOMES	Applicant Phone: 952-215-2008
Construction Value:	Total Fees: \$54.00

Permit Number: SG2015-3	Filing Date: 6/5/2015
Parcel Address: COMMUNITY THREAD - 263	BAYPORT, MN 55003
Applicant: COMMUNITY THREAD IMAGE 360 WOODBURY Sign	Applicant Phone: 6510439-7616
Construction Value:	Total Fees: \$36.25



City of Bayport
 294 North Third Street
 Bayport, Minnesota 55003
 Phone 651-275-4404
 Fax 651-275-4411
 www.ci.bayport.mn.us

RECEIVED
 JUN 01 2015
 CITY OF BAYPORT

City of Bayport

DONATION INFORMATION FORM

Donor Information	<input type="checkbox"/> City Resident / Business	<input checked="" type="checkbox"/> Nonresident	<input type="checkbox"/> Other
Name:	Amy Stelling / Mark Litchfield		
Main Phone Number:	Alternate Phone Number:		
Address:	4420 Morning Dove Avenue NO.		
City/State/Zip:	Stillwater, MN 55082		
Email Address:			
Organization Name (if applicable):			

Donation Information
<input type="checkbox"/> Bench with dedication plaque - \$1,000.00 <input type="checkbox"/> City newsletter - \$50.00 / \$100.00 / \$250.00 <input type="checkbox"/> Picnic table - \$1,500.00 <input type="checkbox"/> Tree - \$250.00 <input type="checkbox"/> Bike rack - \$500.00 <input type="checkbox"/> Flag - \$100.00 <input type="checkbox"/> Flower planter - \$500.00 <input type="checkbox"/> Waste receptacle - \$500.00
<input checked="" type="checkbox"/> Monetary donation of \$ <u>200.00</u> for <input type="checkbox"/> Cemetery <input checked="" type="checkbox"/> Fire Dept. <input type="checkbox"/> General Fund <input type="checkbox"/> Police Dept. <input type="checkbox"/> Parks
Engraved text on bench plaque shall read as follows: <i>(Please print and refer to examples on reverse)</i>

Donor Acknowledgement and Signature
<p>I understand that as the designated donor, this donation will be designated for city department use or used toward the purchase of the item, as specified above. I also understand that depending on availability, lead time, and weather conditions, it could take up to one (1) year to install an item. However, the city will make every effort to complete the installation as soon as possible. I also understand that the city has been given only an approximate size for the dedication plaque. Hence, if I have selected to donate funds for a bench, the city has my permission to format and size the text above accordingly, in order to fit the text on the plaque. Should it be necessary to change any of the text content for any reason, I am aware that I will be contacted by the city.</p>
Signature: _____ Date: _____

Office Use
Staff notes: <i>(Include requested placement location)</i>
Donation amount received: \$ <u>200.00</u> Date received: <u>6-1-15</u> Payment method: <input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check <u>5079</u> Received by: <u>K. Husted</u>

LOUCKS ASSOCIATES

planning . engineering . land surveying . landscape architecture . environmental

MEMORANDUM

To: Sara Taylor
From: Larry Wacker
Subject: Siegfried Payment Application #4 – Perro Park Phase 2 Site Improvements
Date: June 4, 2015
CC:

Attached please find Siegfried Payment Application #4, with original signatures, for work on Perro Park Phase 2 Site Improvements. A copy of the application was emailed to you on June 1st. I recommend approval of payment in the amount of the attached application - \$19,950.04.

Remaining work includes turf maintenance a couple of punch list items. The retainage amount, \$8,286.85 covers the value of remaining work.

365 EAST KELLOGG BOULEVARD - SAINT PAUL MINNESOTA 55101-1411

PHONE: 763-496-6782 FAX: 651-297-6817

VISIT OUR WEBSITE: WWW.LOUCKSASSOCIATES.COM



AIA Document G702™ - 1992

Application and Certificate for Payment

TO OWNER: City of Bayport
294 N 3rd St
Bayport, MN 55003

PROJECT: Perro Park Phase 2 Site Improvements
3rd St N and 3rd Ave N, Bayport, MN

APPLICATION NO: 004
PERIOD TO: May 31, 2015
CONTRACT FOR: General Construction
CONTRACT DATE: July 16, 2014
PROJECT NOS.: / /

FROM: George Siegfried Construction
CONTRACTOR: 510 Perro Creek Dr
Po Box 84
Bayport, MN 55003

VIA ARCHITECT: Loucks Associates
365 E Kellogg Blvd
St Paul, MN 55101

Distribution to:
OWNER:
ARCHITECT:
CONTRACTOR:
FIELD
OTHER:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract, Continuation Sheet, AIA Document G703, is attached.

- 1. ORIGINAL CONTRACT SUM \$ 126,787.00
- 2. NET CHANGE BY CHANGE ORDERS \$ 0.00
- 3. CONTRACT SUM TO DATE (Line 1 + 2) \$ 126,787.00
- 4. TOTAL COMPLETED & STORED TO DATE (Column G on G703) \$ 124,737.00

- 5. RETAINAGE:
 - a. 5% of Completed Work (Column D + E on G703) \$ 6,236.85
 - b. 0% of Stored Material (Column F on G703) \$ 0.00

Total Retainage (Lines 5a + 5b or Total in Column I of G703) \$ 6,236.85

- 6. TOTAL EARNED LESS RETAINAGE \$ 118,500.15
(Line 4 Less Line 5 Total)
- 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT \$ 98,550.11
(Line 6 from prior Certificate)
- 8. CURRENT PAYMENT DUE \$ 19,950.04
- 9. BALANCE TO FINISH, INCLUDING RETAINAGE
(Line 3 less Line 6) \$ 8,286.85

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ 0.00	\$ 0.00
Total approved this Month	\$ 0.00	\$ 0.00
TOTALS	\$ 0.00	\$ 0.00
NET CHANGES by Change Order	\$	0.00

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: George Siegfried Const.
By: *Colleen Siegfried*
State of: *Minnesota*
County of: *Washington*
Subscribed and sworn to before me this *1st* day of *June 2015*

Date: *6/1/15*

NOTARY PUBLIC: *Lisa L. Johnson*
My Commission Expires: *January 31, 2020*

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 19,950.04
(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: *Loucks Associates*
By: *James T. Wankel*
Date: *6/1/15*

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	E WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE RATE)
			D FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD				
	GRAND TOTAL	\$126,787.00	\$103,737.00	\$21,000.00	\$0.00	\$124,737.00	\$2,050.00	\$0.00
							98.38 % (G ÷ C)	



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 22, 2015

To: Mayor and City Council
City Administrator Logan Martin

From: Chief of Police Laura Eastman

Subject: Hiring of Nicholas Schipp as a part-time police officer and PERA declaration

BACKGROUND

Please consider this memorandum to appoint Nicholas Schipp as a part-time police officer at a starting pay of \$16.11 per hour. As you are aware, part-time officers relieve our full-time officers by filling in during mandatory training and/or compensatory leaves such as vacation, sick or injured full-time staff. In addition, the part-time officers assist in augmenting our summer staffing levels, special events, and grant work.

Nicholas recently passed the agency background check and POST licensing requirements. He will be considered a probationary employee for one year.

RECOMMENDATION

Staff recommends the City Council adopt a motion to hire Nicholas Schipp as a part-time police officer at a starting pay rate of \$16.11 per hour and a resolution to approve his participation in the Public Employees Retirement Association (PERA).

RESOLUTION NO. 15-

**EXTRACT OF THE CITY COUNCIL MEETING MINUTES OF THE CITY OF BAYPORT,
WASHINGTON COUNTY, MINNESOTA HELD JULY 6, 2015**

Pursuant to due call and notice therefore, a regular meeting of the City Council of the City of Bayport, Minnesota was duly held at Bayport City Hall in said municipality on the 6th day of July 2015.

Members Present:

Members Absent:

Councilmember _____ introduced the following resolution and moved its adoption:

**RESOLUTION APPROVING PART-TIME POLICE OFFICER DECLARATION AS REQUIRED BY
THE PUBLIC EMPLOYEES RETIREMENT ASSOCIATION (PERA)**

WHEREAS, the policy of the State of Minnesota as declared in Minnesota Statutes 353.63 is to give special consideration to employees who perform hazardous work and devote their time and skills to protecting the property and personal safety of others; and

WHEREAS, Minnesota Statutes Section 353.64 permits governmental subdivisions to request coverage in the Public Employees Police and Fire Plan for eligible employees of police departments whose position duties meet the requirements stated therein and listed below.

BE IT RESOLVED that the City Council, of the City of Bayport hereby declares that the position titled Part-Time Police Officer, currently held by **Nicholas Schipp** meets all of the following Police and Fire membership requirements:

1. Said position requires a license by the Minnesota Peace Officer Standards and Training Board under sections 626.84 to 626.863 and this employee is so licensed;
2. Said position's primary (over 50%) duty is to enforce the general criminal laws of the state;
3. Said position charges this employee with the prevention and detection of crime;
4. Said position gives this employee the full power of arrest, and
5. Said position is assigned to a designated police or sheriff's department.

BE IT FURTHER RESOLVED that this governing body hereby requests that the above-name employee be accepted as a member of the Public Employees Police and Fire Plan effective the date of this employee's initial Police and Fire salary deduction by the governmental subdivision.

NOW, THEREFORE BE IT RESOLVED that Logan Martin, City Administrator, is hereby authorized to execute such agreements as are necessary to implement the membership on behalf of the City of Bayport.

The motion for adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon roll call being taken thereon, the following vote via voice:

Susan St. Ores –
Michele Hanson –

Connie Carlson –
Patrick McGann –

Dan Goldston –

WHEREUPON, said Resolution was declared duly passed and adopted and signed by the Mayor and attested by the City Administrator. Passed by the City Council, City of Bayport, Washington County, Minnesota this 6th day of July 2015.

ATTEST:

Logan Martin, City Administrator

Susan St. Ores, Mayor



City of Bayport
 294 North Third Street
 Bayport, Minnesota 55003
 Phone 651-275-4404
 Fax 651-275-4411
 www.ci.bayport.mn.us

City of Bayport
SPECIAL EVENT APPLICATION

A special event application form is required for individuals or organizations who wish to hold a public or private event, which includes a request for special city services or use of equipment and/or alters the general use of city property, parks, buildings, or grounds. Examples of items that would prompt a special event application include music, inflatable devices, tents, generators, food/product vendors, arbors and/or chairs, barricades, and similar items. Special event applications require City Council approval. Therefore, it is important to plan ahead and submit the application form to City Hall at least three weeks prior to a regularly scheduled City Council meeting, which is usually held the first Monday of the month. Following the City Council meeting, city staff will inform the applicant whether or not the event was approved. City staff will also work with the applicant to coordinate requests for city services and/or equipment associated with the event.

Property Information	
City property:	<input type="checkbox"/> Lakeside Park <input type="checkbox"/> Barker's Alps Park <input type="checkbox"/> Perro Park <input type="checkbox"/> Village Green Park
	<input checked="" type="checkbox"/> Street, alley, or other city property description: _____
Private property address: _____	

Applicant Information	<input checked="" type="checkbox"/> Individual/For-profit organization <input type="checkbox"/> Public entity/Non-profit organization
Applicant/Contact Name: <i>Mary Ostertag</i>	
Organization/Business Name: _____	
Main Phone Number: <i>651-430-8041</i>	Alternate Phone Number: <i>651-387-7631</i>
Address: <i>173 5th St S</i>	
City/State/Zip: <i>Bayport, MN 55003</i>	
Email Address: <i>mosta-tag@comcast.net</i>	

Event Information	
Start Date: <i>8/23/15</i>	End Date: <i>8/23/15</i>
Day(s): <input type="checkbox"/> Monday <input type="checkbox"/> Tuesday <input type="checkbox"/> Wednesday <input type="checkbox"/> Thursday <input type="checkbox"/> Friday <input checked="" type="checkbox"/> Sunday <input type="checkbox"/> Saturday	
Weekday Hours: _____	Weekend Hours: <i>10:00 am - 1:00 p.m.</i>
Description of event, activities, location and proposed alteration of city property: <i>(map attached)</i> <i>Mark Ostertag Memorial 5K Walk/Run</i> <i>Route: Start at fire station, south on 4th St to 1st Ave N, west on 1st Ave N to 7th St N, north on 7th St N to 2nd Ave N, west on 2nd Ave N to Barker's Alps, through Barker's Alps up to Inspiration, Inspiration Parkway/Prairie Way loop, back down to Barker's Alps, east on 2nd Ave N to 5th St N, north on 5th St N to Bethlehem Lutheran Church.</i>	

Description of Requested City Services and/or Equipment

Traffic control?

- Application Requirements and Fees**
- A diagram of the premises, including proposed activities and equipment, as well as the application processing fee, must be submitted with this form to City Hall (see below for fees).
 - If the event involves requested use of a park building, picnic shelter, field, or court, a separate park reservation request form and applicable fees are required to be submitted to City Hall (reservations are subject to availability).
 - If the event involves cooked/prepared food or beverages, sale of produce, uncooked meat or dairy, additional licenses may be required by Washington County Public Health and/or Minnesota Department of Agriculture and must be submitted with this form. For assistance with licensing requirements, please contact 651-430-6655.
 - Depending upon the event and related activities, a refundable park damage deposit fee of up to \$500.00 and a certificate of liability insurance may be required, prior to the event. Additional charges for trash receptacles, barricades, and picnic tables may also apply (see below for fees).
 - All fees and expenses associated with the request are the responsibility of the applicant and/or private property owner.

Applicant Acknowledgement and Signature

The undersigned understands that this application will be processed in accordance with established city review procedures at such time as it is deemed complete. Failure by the applicant to supply accurate and necessary information as requested by the city may be cause for denying this application. The undersigned hereby applies for the request as stated in this application form and in understanding the conditions of this application as described above, declare that the information and materials submitted in support of this application are complete, to the best of their knowledge.

Signature: *Mary Astutay* Date: *6/3/15*

Office Use - Fees	Amount Due	Date	Payment	Staff
Processing Fee (required) \$15.00 Public entity/Non-profit \$50.00 Individual/For-profit	<input type="checkbox"/> \$15.00 <input checked="" type="checkbox"/> \$50.00	Received: <i>6/3/15</i>	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check <i>6159</i>	<i>gh</i>
Rental Fees (as applicable, per applicant and/or city) \$10.00 + tax Per trash receptacle/barricade \$25.00 + tax Per picnic table	<input type="checkbox"/> \$ _____ <input type="checkbox"/> \$ _____	Invoiced: _____ Received: _____	<input type="checkbox"/> Cash <input type="checkbox"/> Check	
Damage Deposit (as applicable per city, up to \$500.00) Payment must be on a separate check. Notes: <i>N/A</i>	<input type="checkbox"/> \$ _____	Invoiced: _____ Received: _____ Inspected: _____	<input type="checkbox"/> Destroyed check <input type="checkbox"/> Retained deposit in the amount of \$ _____	
Certificate of Liability Insurance Required: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Date Received: _____				

feet
km

3000
1





City of Bayport
 294 North Third Street
 Bayport, Minnesota 55003
 Phone 651-275-4404
 Fax 651-275-4411
 www.ci.bayport.mn.us

City of Bayport
SPECIAL EVENT APPLICATION

A special event application form is required for individuals or organizations who wish to hold a public or private event, which includes a request for special city services or use of equipment and/or alters the general use of city property, parks, buildings, or grounds. Examples of items that would prompt a special event application include music, inflatable devices, tents, generators, food/product vendors, arbors and/or chairs, barricades, and similar items. Special event applications require City Council approval. Therefore, it is important to plan ahead and submit the application form to City Hall at least three weeks prior to a regularly scheduled City Council meeting, which is usually held the first Monday of the month. Following the City Council meeting, city staff will inform the applicant whether or not the event was approved. City staff will also work with the applicant to coordinate requests for city services and/or equipment associated with the event.

Property Information	
City property: <input checked="" type="checkbox"/> Lakeside Park <input type="checkbox"/> Barker's Alps Park <input type="checkbox"/> Perro Park <input type="checkbox"/> Village Green Park	
<input type="checkbox"/> Street, alley, or other city property description:	
Private property address:	

Applicant Information	<input checked="" type="checkbox"/> Individual/For-profit organization	<input type="checkbox"/> Public entity/Non-profit organization
Applicant/Contact Name: Victor T Vang		
Organization/Business Name: Red Line Bass Trail/ Sportek LLC		
Main Phone Number: 6514287164		Alternate Phone Number: 6519555152
Address: PO Box 28743		
City/State/Zip: Saint Paul, MN 55106		
Email Address: victortvang@yahoo.com		

Event Information	
Start Date: July 11, 2015	End Date: July 12, 2015
Day(s): <input type="checkbox"/> Monday <input type="checkbox"/> Tuesday <input type="checkbox"/> Wednesday <input type="checkbox"/> Thursday <input type="checkbox"/> Friday	
<input checked="" type="checkbox"/> Sunday <input checked="" type="checkbox"/> Saturday	
Weekday Hours:	Weekend Hours: 7:00am- 3:30 pm
Description of event, activities, location and proposed alteration of city property: <i>Bass fishing contest</i>	

Description of Requested City Services and/or Equipment

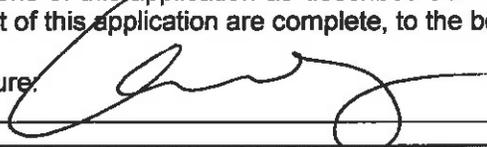
Lakeside Park shelter #1 and #2, Ball Field, trailer parking lot

Application Requirements and Fees

- A diagram of the premises, including proposed activities and equipment, as well as the application processing fee, must be submitted with this form to City Hall (see below for fees).
- If the event involves requested use of a park building, picnic shelter, field, or court, a separate park reservation request form and applicable fees are required to be submitted to City Hall (reservations are subject to availability).
- If the event involves cooked/prepared food or beverages, sale of produce, uncooked meat or dairy, additional licenses may be required by Washington County Public Health and/or Minnesota Department of Agriculture and must be submitted with this form. For assistance with licensing requirements, please contact 651-430-6655.
- Depending upon the event and related activities, a refundable park damage deposit fee of up to \$500.00 and a certificate of liability insurance may be required, prior to the event. Additional charges for trash receptacles, barricades, and picnic tables may also apply (see below for fees).
- All fees and expenses associated with the request are the responsibility of the applicant and/or private property owner.

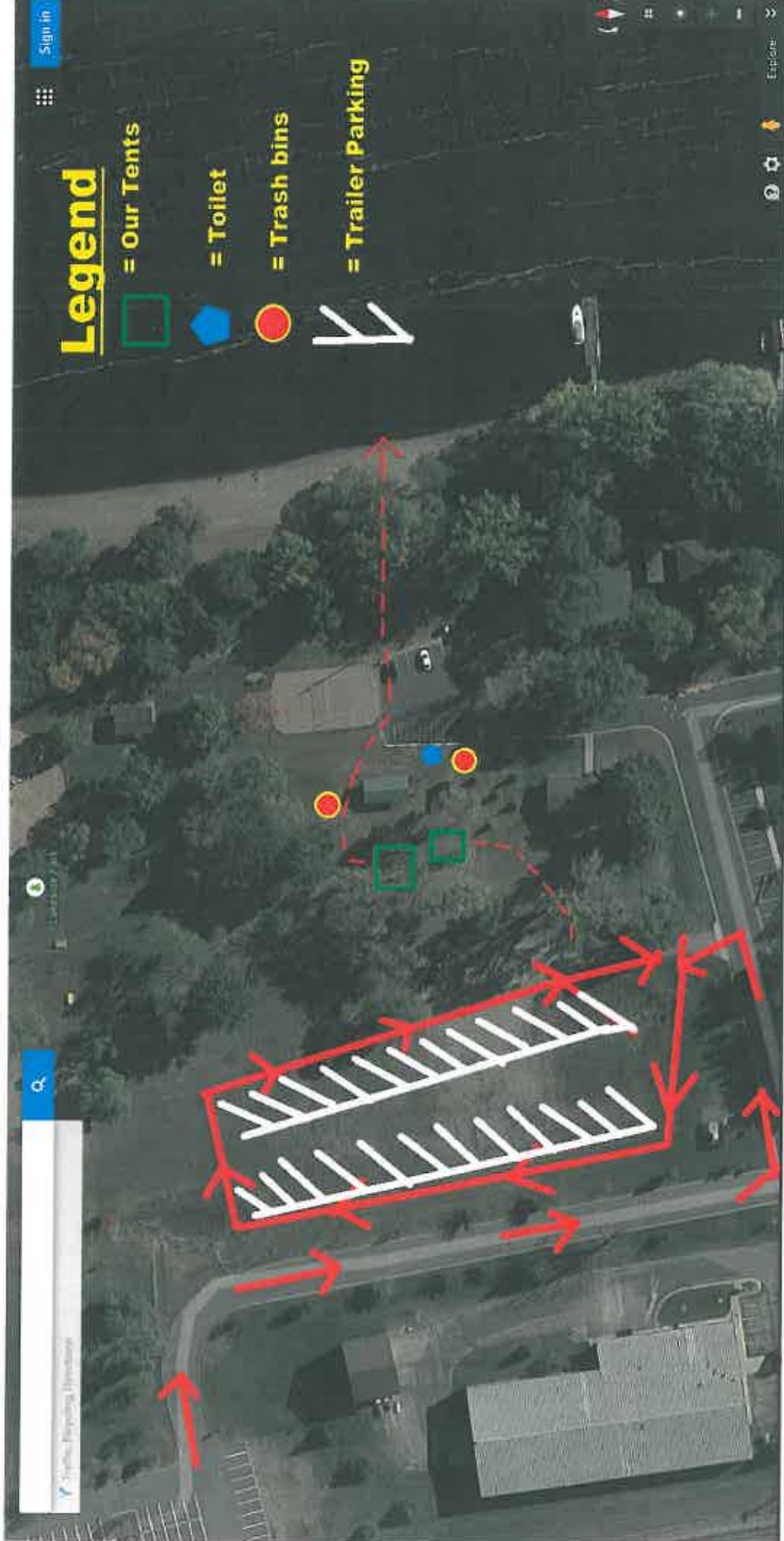
Applicant Acknowledgement and Signature

The undersigned understands that this application will be processed in accordance with established city review procedures at such time as it is deemed complete. Failure by the applicant to supply accurate and necessary information as requested by the city may be cause for denying this application. The undersigned hereby applies for the request as stated in this application form and in understanding the conditions of this application as described above, declare that the information and materials submitted in support of this application are complete, to the best of their knowledge.

Signature: 

Date: 6/28/15

Office Use - Fees	Amount Due	Date	Payment	Staff
Processing Fee (required) \$15.00 Public entity/Non-profit \$50.00 Individual/For-profit	<input type="checkbox"/> \$15.00 <input checked="" type="checkbox"/> \$50.00	Received: 6/29/15	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check 1015 Sportek	Kj
Rental Fees (as applicable, per applicant and/or city) \$10.00 + tax Per trash receptacle/barricade \$25.00 + tax Per picnic table	<input checked="" type="checkbox"/> \$ 85.70 <input type="checkbox"/> \$ _____	Invoiced: _____ Received: 6/29/15	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check 1017 Sportek	Kj
Damage Deposit (as applicable per city, up to \$500.00) Payment must be on a separate check. Notes:	<input checked="" type="checkbox"/> \$ 500.00 CK # 1016 Sportek	Invoiced: _____ Received: 6/29/15 Inspected: _____	<input type="checkbox"/> Destroyed check <input type="checkbox"/> Retained deposit in the amount of \$ _____	
Certificate of Liability Insurance Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Date Received: 6/29/15				



Legend

- = Our Tents
- = Toilet
- = Trash bins
- = Trailer Parking

Search

City of Phoenix Department

Sign in

Explore



Renewal Application for Optional Liquor 2AM License

License Type: 2AM-500K+

Expires On: August 21, 2015

ID Number: 12385

DBA

Woody's Bar & Grill Inc.
Woody's Bar & Grill
109 N 3rd St
Bayport MN 55003

Business Phone: 6514395666

If any of the above licensee information is not correct, please make corrections as necessary.

Licensee must report previous 12 month on sale alcoholic beverage gross receipts by checking one of the boxes below. Next to the box you check is your 2 AM license fee. Make check payable to: Alcohol and Gambling Enforcement Division (AGED). Mail this application and check to: AGED, 445 Minnesota St., Suite 222, St. Paul, MN 55101-5133.

- \$300 2 AM license fee - Up to \$100,000 in on sale gross receipts for alcoholic beverages
- \$750 2 AM license fee - Over \$100,000, but not over \$500,000 in on sale gross receipts for alcoholic beverages
- \$1000 2 AM license fee - Over \$500,000 in on sale gross receipts for alcoholic beverages
- \$200 2 AM license fee - 3.2% On Sale Malt Liquor licensees or Set Up license holders
- \$200 2 AM license fee - Did not sell alcoholic beverages for a full 12 months prior to this application

Yes No Does the city or county that issues your liquor license allow the sale of alcoholic beverages until 2 AM?

City Clerk/County Auditor Signature _____ Date _____

(I certify that the city or county of _____ approves the sale of alcoholic beverages until 2AM)

Licensee Signature [Signature] Date 6-21-15
(I certify that I have answered the above questions truthfully and correctly)

Licensee Minnesota Tax ID Number (Required): 4430771

Licensee: Prior to submitting this application to the Alcohol & Gambling Enforcement Division you must have this form signed by your local city or county licensing official

Minnesota Department of Public Safety
Alcohol and Gambling Enforcement Division (AGED)
445 Minnesota Street, Suite 222, St. Paul, MN 55101-5133
Telephone 651-201-7500 Fax 651-297-5259 TTY 651-282-6555
dps.mn.gov



Building a Better World
for All of Us®

MEMORANDUM

TO: Logan Martin | Bayport City Administrator
 FROM: John Parotti, PE | City Engineer
 DATE: June 29, 2015
 RE: Bayport Fire Station Utility Extensions and Turn Lanes
 Contractor Pay Application No. 1
 SEH No. BAYPO 130226 14.00

Attached with this memo you will find a copy of Application for Payment No. 1 (AFP No. 1) from the City's contractor Miller Excavating for work completed on the above project through June 26, 2015. As of that date, all underground utility work was complete and the contractor was preparing to construct a road patch and then move on to construction of turn lanes.

We have reviewed this application and find it to be consistent with our records of work completed through this date. As a result, we recommend payment in the amount of \$134,290.10 as requested. This amount represents approximately 52% of the total contract amount of \$259,876.35.

Below is a summary of approved construction funding and payments made to date:

Construction Funding Summary

Item	Total
Original Contract	\$259,876.35
Change Order No.	\$0.00
Total Construction Funding Approved	\$259,876.35

Contractor Payment History

Application for Payment	Total
1 - June 26, 2015 - Pending Approval	\$134,290.10
2 -	
3 -	
4 -	
Total Contractor Payments to Date	\$134,290.10

Please present this memo and attached AFP No. 1 for consideration at the July 6, 2015 City Council meeting. Feel free to contact me with any questions.

Attachment

p:\a\l\b\baypo\130226\construction services\contractor afps\afp 4 memo 2015_06_03.docx

ACCOUNT NUMBER 42201-302
AMOUNT \$134,290.10
AUTHORIZATION *[Signature]*

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 156 High Street, Suite 300, New Richmond, WI 54017-1128

SEH is 100% employee-owned | sehinc.com | 715.246.9906 || 888.881.4281 | 888.908.8166 fax



Application for Payment
(Unit Price Contract)
No. 1

Eng. Project No.: BAYPO 130226

Location: Bayport, Minnesota

Contractor <u>Miller Excavating Inc.</u>	Contract Date <u>June 10, 2015</u>
<u>3636 Stagecoach Trail North</u>	
<u>Stillwater, MN 55082</u>	Contract Amount <u>\$ 259,876.35</u>

Contract for Fire Station Utility Extension and Turn Lanes

Application Date 6/26/15 For Period Ending 6/26/15

Item No.	Item	Unit	Est. Quantity	Quantity to Date	Unit Price	Total Price
2021.501	MOBILIZATION	LS	1	0.75	\$6,945.00	\$5,208.75
2104.501	REMOVE CURB & GUTTER	LF	202	165	3.00	\$495.00
2104.509	REMOVE SIGN TYPE C	EA	4	4	25.00	\$100.00
2104.513	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	1360	1389	1.75	\$2,430.75
2104.521	SALVAGE CONCRETE PIPE CULVERT	LF	24	0	10.00	
2104.521	SALVAGE METAL CULVERTS	LF	32	0	10.00	
2104.523	SALVAGE SIGN TYPE C	EA	3	3	25.00	\$75.00
2104.523	SALVAGE CONCRETE APRON	EA	1	0	250.00	
2104.523	SALVAGE METAL APRON	EA	2	0	125.00	
2105.501	COMMON EXCAVATION (EV)	CY	781	265	10.00	\$2,650.00
2105.526	SELECT TOPSOIL BORROW (CV)	CY	660	0	20.00	
2111.501	TEST ROLLING	RS	11	0	150.00	
2123.501	COMMON LABORERS	HOUR	6	0	85.00	
2123.610	SKID LOADER	HOUR	6	0	95.00	
2130.501	WATER	MGAL	15	0	45.00	
2211.501	AGGREGATE BASE, CLASS 2	TON	129	0	30.00	
2211.501	AGGREGATE BASE, CLASS 5	TON	1426	280.3	11.00	\$3,083.30
2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	217	30	2.00	\$60.00
2360.501	TYPE SP 12.5 WEARING COURSE MIXTURE (4,F)	TON	490	43.85	85.00	\$3,727.25
2360.502	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (4,B)	TON	218	87.85	77.00	\$6,764.45
2360.503	TYPE SP 9.5 WEAR CRS MIX (2,B) 2.5-INCH THICK (TRAIL)	SY	35	24	22.80	\$547.20
2501.511	15-INCH CS PIPE CULVERT	LF	8	0	55.00	
2501.511	18-INCH RC PIPE CULVERT	LF	8	0	55.00	
2501.571	INSTALL CONCRETE CULVERT	LF	24	0	30.00	
2501.573	INSTALL CONCRETE APRON	EA	1	0	400.00	
2503.602	CONNECT TO EXISTING SANITARY SEWER	EA	1	1	1,950.00	\$1,950.00
2503.602	CONNECT TO EXISTING STORM SEWER	EA	2	0	750.00	
2503.603	8-INCH PVC PIPE SEWER (SDR 35)	LF	1295	1283	29.85	\$38,297.55
2504.602	CONNECT TO EXISTING WATER MAIN	EA	1	1	2,500.00	\$2,500.00
2504.602	ADJUST VALVE BOX-WATER	EA	2	0	400.00	
2504.602	HYDRANT	EA	2	2	3,995.00	\$7,990.00
2504.602	6-INCH GATE VALVE & BOX	EA	4	2	1,875.00	\$3,750.00
2504.602	8-INCH GATE VALVE & BOX	EA	1	3	2,365.00	\$7,095.00
2504.603	6-INCH WATERMAIN DUCTILE IRON CL 52	LF	93	32	40.00	\$1,280.00
2504.603	8-INCH WATERMAIN DUCTILE IRON CL 52	LF	688	741	40.75	\$30,195.75
2504.604	2-INCH INSULATION	SY	15	10.5	30.00	\$315.00

Item No.	Item	Unit	Est. Quantity	Quantity to Date	Unit Price	Total Price
2504.608	DUCTILE IRON FITTINGS	LB	530	600	3.00	\$1,800.00
2506.516	CASTING ASSEMBLY	EA	5	0	675.00	
2506.522	ADJUST FRAME & RING CASTING	EA	2	1	400.00	\$400.00
2506.603	CONSTRUCT SANITARY MANHOLE	LF	67.2	67.2	190.00	\$12,768.00
2506.603	CONSTRUCT OUTSIDE DROP	LF	5.4	5.4	500.00	\$2,700.00
2531.501	CONCRETE CURB & GUTTER DESIGN B618	LF	164	0	23.80	
2563.601	TRAFFIC CONTROL	LS	1	0.5	7,500.00	\$3,750.00
2573.502	SILT FENCE, TYPE PREASSEMBLED	LF	169	140	5.00	\$700.00
2573.530	STORM DRAIN INLET PROTECTION	EA	2	3	175.00	\$525.00
2573.540	FILTER LOG TYPE STRAW BIOROLL	LF	200	0	3.50	
2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	6	2	100.00	\$200.00
2564.531	SIGN PANELS TYPE C	SF	31	0	40.00	
2564.536	INSTALL SIGN PANEL TYPE C	EA	3	0	80.00	
2575.523	EROSION CONTROL BLANKET CATEGORY 3B	SY	550	0	2.00	
2575.604	HYDROSEEDING	SY	5911	0	0.90	
2582.501	PAVT MSSG (RT ARROW) - EPOXY	EA	4	0	175.00	
2582.502	24-INCH STOP LINE WHITE - POLY PREFORM	LF	25	0	29.00	
2582.502	4-INCH SOLID LINE WHITE - EPOXY	LF	2246	0	0.75	
2582.502	12-INCH SOLID LINE WHITE - EPOXY	LF	184	0	7.50	
2582.502	4-INCH SOLID LINE YELLOW - EPOXY	LF	112	0	0.75	
						\$141,358.00

Application for Payment (continued)

Total Contract Amount	\$ <u>259,876.35</u>	Total Amount Earned	\$ <u>141,358.00</u>
Contract Change Order No. _____		Material Suitably Stored on Site, Not Incorporated into Work	_____
Contract Change Order No. _____		Percent Complete	_____
Contract Change Order No. _____		Percent Complete	_____
Less Previous Applications:		Percent Complete	_____
AFP No. 1: _____	AFP No. 6: _____	GROSS AMOUNT DUE	\$ <u>141,358.00</u>
AFP No. 2: _____	AFP No. 7: _____	LESS <u>5</u> % RETAINAGE	\$ <u>7,067.90</u>
AFP No. 3: _____	AFP No. 8: _____	AMOUNT DUE TO DATE	\$ <u>134,290.10</u>
AFP No. 4: _____	AFP No. 9: _____	LESS PREVIOUS APPLICATIONS	\$ _____
AFP No. 5: _____		AMOUNT DUE THIS APPLICATION	\$ <u>134,290.10</u>

CONTRACTOR'S AFFIDAVIT

The undersigned Contractor hereby swears under penalty of perjury that (1) all previous progress payments received from the Owner on account of work performed under the Contract referred to above have been applied by the undersigned to discharge in full all obligations of the undersigned incurred in connection with work covered by prior Applications for Payment under said contract, , and (2) all material and equipment incorporated in said Project or otherwise listed in or covered by this Application for Payment and free and clear of all liens, claims, security interests and encumbrances.

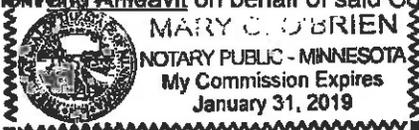
Date June 26, 2015 Miller Excavating Inc.
(Contractor)

COUNTY OF Washington)
STATE OF Minnesota) SS By [Signature] VP
(Name and Title)

Before me on this 26 day of JUNE, 2015, personally appeared
STEPHEN ST. LAURE

known to be, who being duly sworn did depose and say that he is the VILE PRESIDENT (office) of the Contractor above mentioned that he executed the above Application for Payment and Affidavit on behalf of said Contractor; and that all of the statements contained therein

My Commission expires



[Signature]
(Notary Public)

The undersigned has checked the Contractor's Application for Payment shown above. A part of this Application is the Contractor's Affidavit stating that all previous payments to him under this contract have been applied by him to discharge in full all of his obligations in connecting with the work by all prior Applications for Payment.

In accordance with the Contract, the undersigned recommends approval of payment to the Contractor for the Amount due.

[Signature]

Short Elliott Hendrickson Inc.

By John D. Parotti, PE
Date June 29, 2015

City of Bayport

By _____
Date _____



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 22, 2015

To: Mayor and City Council
City Administrator Logan Martin

From: Chief of Police Laura Eastman

Subject: Consider a resolution authorizing access to Minnesota Government Access Accounts for electronic court records and documents

BACKGROUND

Please consider this memorandum to authorize the Bayport Police Department to gain access to the Minnesota Government Access Accounts (MGA). This will allow personnel to quickly view current court documents for criminal history and to determine whether a suspect is on supervised release or probation.

RECOMMENDATION

Staff recommends the City Council adopt a resolution approving access to electronic court records and documents through Minnesota Government Access Accounts.

RESOLUTION NO. 15-

**EXTRACT OF THE CITY COUNCIL MEETING MINUTES OF THE CITY OF BAYPORT,
WASHINGTON COUNTY, MINNESOTA HELD JULY 6, 2015**

Pursuant to due call and notice therefore, a regular meeting of the City Council of the City of Bayport, Minnesota was duly held at Bayport City Hall in said municipality on the 6th day of July 2015 at 6:00 p.m.

The following members were present:

The following members were absent:

Councilmember _____ introduced the following resolution and moved its adoption:

**RESOLUTION AUTHORIZING SIGNING AUTHORITY ALLOWING ACCESS TO
MINNESOTA GOVERNMENT ACCESS (MGA) ACCOUNTS FOR
ELECTRONIC COURT RECORDS AND DOCUMENTS**

WHEREAS, the new Minnesota Government Access Accounts, allowing government agencies to view appropriate electronic court records and documents stored in the Minnesota Court Information System for cases in Minnesota district courts, require authorization from the governing body; and

WHEREAS, Section 2-115 of City Code defines the duties of the City Administrator, including authority to enter into contracts on behalf of the City of Bayport as authorized by City Council policy or action; and

WHEREAS, the Chief of Police oversees police operations for the City of Bayport;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Bayport, County of Washington, State of Minnesota, hereby authorizes the City Administrator as the signing authority to access to MGA Accounts on behalf of the City of Bayport, and the Chief of Police as the signing authority to authorize access to MGA Accounts on behalf of the City of Bayport Police Department.

The motion for adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon roll call being taken thereon, the following vote via voice:

Susan St. Ores –
Connie Carlson –
Dan Goldston –

Michele Hanson –
Patrick McGann –

WHEREUPON, said Resolution was declared duly passed and adopted and signed by the Mayor and attested by the City Administrator. Passed by the City Council, City of Bayport, Washington County, Minnesota, this 6th day of July 2015.

ATTEST:

Logan Martin, City Administrator

Susan St. Ores, Mayor

APPLICATION AND CERTIFICATION FOR PAYMENT
 TO OWNER: C of Bayport
 294 North 3rd St
 Bayport, MN 55003

FROM CONTRACTOR:
 Miller Excavating, Inc.
 3636 Stagecoach Trail North
 Stillwater, MN 55082
 CONTRACT FO BP 31A Earthwork & Utilities

VIA ARCHITECT: Leo A Daly
 VIA CM: Kraus-Anderson Construction Co
 PROJECT NOS: 023-10215-000
 CONTRACT DATE: April 22, 2015

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM \$ 248,649.00
2. Net change by Change Orders \$ 0.00
3. CONTRACT SUM TO DATE (Line 1 + 2) \$ 248,649.00
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703) \$ 64,350.00
5. RETAINAGE:
 - a. 5 % of Completed Work \$ \$3,217.50
 - b. % of Stored Material \$ Included in above
6. TOTAL EARNED LESS RETAINAGE \$ 3,217.50
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate) \$ 61,132.50
8. CURRENT PAYMENT DUE \$ 0
9. BALANCE TO FINISH, INCLUDING RETAINAGE \$ 187,516.50

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
NET CHANGES by Change Order	\$0.00	

APPLICATION NO: 1

Distribution to:
 OWNER
 ARCHITECT
 CONTRACTOR



KRAUS-ANDERSON®
 CIRCLE PINES

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment ~~is~~ is being made.

CONTRACTOR: Miller Excavating, Inc.
 By: Peter J Miller, President
 Peter J Miller, President
 State of: Minnesota
 County of: Washington
 Subscribed and sworn to before me this 31 day of MAY 2015
 Notary Public: Mary C. O'Brien
 My Commission expires: January 31, 2019
 Date: May 31, 2015

MARY C. O'BRIEN
 NOTARY PUBLIC - MINNESOTA
 My Commission Expires January 31, 2019

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 61,132.50

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT:
 By: [Signature]
 Date: 6/13/15
 This certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Users may obtain validation of this document by requesting a completed AIA Document D401 - Certification of Document's Authenticity from the Licensee.
 CONSTRUCTION MONITOR
 BY: [Signature] DATE: 6.4.15

ACCOUNT NUMBER 42201-302
 AMOUNT 61,132.50
 AUTHORIZATION UA

CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing

APPLICATION NO: 1

Contractor's signed certification is attached.

APPLICATION DATE: 5/31/2015

In tabulations below, amounts are stated to the nearest dollar.

PERIOD TO: 5/31/2015

Use Column I on Contracts where variable retainage for line items may apply.

ARCHITECT'S PROJECT NO: 023-10215-000

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H % (G + C)	I BALANCE TO FINISH (C - G)	J RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD						
1	Erosion Control	\$18,550.00	\$0.00	\$4,460.00	\$4,460.00		\$4,460.00	24.04%	\$14,090.00	\$223.00
2	Demolition & Removals	\$4,450.00	\$0.00	\$0.00	\$0.00		\$0.00			
3	Site Grading	\$66,745.00	\$0.00	\$59,890.00	\$59,890.00		\$59,890.00	89.73%	\$6,855.00	\$2,994.50
4	Building Excavation	\$20,630.00	\$0.00	\$0.00	\$0.00		\$0.00			
5	Sanitary Sewer	\$5,455.00	\$0.00	\$0.00	\$0.00		\$0.00			
6	Watermain	\$33,890.00	\$0.00	\$0.00	\$0.00		\$0.00			
7	Storm Sewer	\$52,029.00	\$0.00	\$0.00	\$0.00		\$0.00			
8	Aggregate Base	\$26,900.00	\$0.00	\$0.00	\$0.00		\$0.00			
9	Project Allowance	\$20,000.00	\$0.00	\$0.00	\$0.00		\$0.00			
GRAND TOTALS		\$248,649.00	\$0.00	\$64,350.00	\$64,350.00	\$0.00	\$64,350.00	26%	\$20,945.00	\$3,217.50

Users may obtain validation of this document by requesting of the license a completed AIA Document D401 - Certification of Document's Authenticity



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: July 1, 2015

To: Mayor and City Council

From: Logan Martin, City Administrator
Andy Pratt, City Attorney

Re: Resolution removing Outlot P from the definition of protected property under a conservation easement with the Minnesota Land Trust

BACKGROUND

As part of the review process for the Phase III-B final plat application, it was discovered that Outlot P was erroneously included in the definition of "Protected Property" which refers to the open space to be restored and protected under the Conservation Easement with the Minnesota Land Trust for Inspiration. City staff has reviewed the original approval documents for Inspiration and has confirmed that this parcel was never intended to be part of the Conservation Easement.

As depicted on the attached map, this parcel is located in the southwestern portion of Inspiration and is separated from the remainder of the development by railroad tracks. Due to its location and limited access from Inspiration, the parcel was not intended to be developed with residential dwelling units, nor preserved as dedicated open space. It should be noted that the master developer's agreement for Inspiration does provide the city first right of refusal to purchase the parcel, should the property owner wish to sell it at some point in the future.

RECOMMENDATION

Staff recommends the City Council adopt a resolution removing Outlot P from the definition of protected property under a conservation easement with the Minnesota Land Trust.

RESOLUTION NO. 15-_____

**EXTRACT OF THE CITY COUNCIL MEETING MINUTES OF THE CITY OF BAYPORT,
WASHINGTON COUNTY, MINNESOTA HELD JULY 6, 2015**

Pursuant to due call and notice therefor, a regular meeting of the City Council of the City of Bayport, Minnesota was duly held at Bayport City Hall in said municipality on the 6th day of July, 2015 at 6:00 p.m.

The following members were present:

The following members were absent:

Councilmember _____ introduced the following resolution and moved its adoption:

**RESOLUTION REMOVING OUTLOT P FROM THE DEFINITION OF PROTECTED PROPERTY
UNDER A CONSERVATION EASEMENT WITH THE MINNESOTA LAND TRUST**

WHEREAS, various outlots located in the subdivision known as “Inspiration, A Conservation Development” are subjected as “Protected Property” to that certain Conservation Easement, granted by the Contractor Property Developers Company (the original developer of Inspiration), to the Minnesota Land Trust, dated as of May 24, 2005 and recorded in the Office of the County Recorder, Washington County, Minnesota, as Document No. 3526937 (the “Conservation Easement”); and

WHEREAS, as a part of approving a final plat for that portion of Inspiration known as Phase III-B, six outlots will be subjected to the open space requirements of the Conservation Easement; and

WHEREAS, during the final plat approval process, it was discovered that Outlot P, Inspiration was erroneously included in the definition of “Protected Property” under the Conservation Easement; and

WHEREAS, Outlot P is located in the southwestern portion of Inspiration, and is separated from the remainder of the development by railroad tracks. As such, it is not intended to be included as protected open space property, and accordingly if the property owner sells the property in the future, the City has a right of first refusal to purchase Outlot P on substantially similar terms; and

WHEREAS, upon recording of the final plat for Inspiration Phase III-B, the City will gain fee title ownership to Outlots A, B, C, D, E and F, and will subject the outlots to the Conservation Easement.

NOW THEREFORE BE IT RESOLVED: The City Council of the City of Bayport, Washington County, Minnesota, does hereby resolve as follows:

1. City staff is authorized and directed to take all necessary action to remove Outlot P from the Conservation Easement. City staff is authorized to work with all developers and land owners with a property interest in Outlot P, as well as the Minnesota Land Trust, to accomplish the removal of Outlot P from the Conservation Easement.
2. This Resolution is effective as of the date of its passage.

The motion for adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon roll call being taken thereon, the following vote via voice:

Susan St. Ores – Michele Hanson – Patrick McGann -
Connie Carlson – Dan Goldston –

WHEREUPON, said Resolution was declared duly passed by the City Council, City of Bayport, Washington County, Minnesota this 6th day of July, 2015, signed by the Mayor and attested by the City Administrator.

Logan Martin, City Administrator

Susan St. Ores, Mayor



0 450 900 1,800 Feet

Parcel ID: 1502920210004
Parcel Address:
CITY OF BAYPORT

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

This drawing is the result of the compilation and reproduction of land records as they appear in various Washington County offices. The drawing should be used for reference purposes only. Washington County is not responsible for any inaccuracies.



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 30, 2015
To: Honorable Mayor and City Council
From: Logan Martin, City Administrator
Re: **Resignation of Library Director Mark Blando and authorization to initiate hiring process for the position**

BACKGROUND

Library Director Mark Blando recently notified the Library Board that he wishes to resign his position effective July 20, 2015. Mark has accepted a position with the Siouxland Library System of Sioux Falls, SD where he will oversee 4 library branches in the region. While Mark was enjoying his service to the Bayport Library and had no intentions of leaving, this position offers the important opportunity to be closer to his family network in South Dakota. We certainly thank Mark for his four years of service and he will be missed!

The Library Board has begun the conversation of filling the vacant position. A consultant firm specializing in the library field will likely be utilized to assist with the interim management of the library and facilitate the job recruitment process. A new person could fill the position as early as mid-August.

RECOMMENDATION

Staff recommends the City Council accept the resignation of Library Director Mark Blando, effective July 20, 2015, and authorize staff to work with the Library Board to fill the vacant position.

Attachments

Resignation letter from Mark Blando

Mark Blando
924 Northland Ct.
Stillwater, MN 55082

James Eberhardt
Board President
Bayport Public Library
Bayport, MN 55003

Dear Jim,

With this letter, I hereby submit my resignation as Director of the Bayport Public Library effective July 20, 2015. I have accepted the position of Branch Librarian with the Siouxland Library system in Sioux Falls, SD.

It has been a privilege to serve as director of the Bayport Public Library. Your support and dedication have meant everything to me and my family. I will help in any way I can in making the transition to new leadership as smooth as possible.

Sincerely,

Mark Blando
Director
Bayport Public Library

ECKBERG LAMMERS
MEMORANDUM

TO: Mayor St. Ores and Bayport City Council

FROM: Andy Pratt, City Attorney

DATE: July 2, 2015

RE: TIF District No. 1 Modification Public Hearing

On the agenda for the Council's July 6, 2015 meeting is a rescheduled public hearing on a proposed modification to the Tax Increment Financing Plan for Tax Increment Financing District No. 1. This proposed modification is needed to authorize some new downtown improvement projects financed by available revenues derived from TIF District No. 1 (specifically a potential project located at 169 Third Street North). The public hearing was originally scheduled for June 1, 2015, but was rescheduled for tonight's meeting, as there were only three Council members present at the June 1 meeting.

I have drafted a basic Modification document to the TIF Plan for TIF District No. 1. One of the challenges of this project has been to recreate the proceedings the City Council took more than 20 years ago in regards to this district. This Modification makes it clear the City may acquire 169 Third Street North to conduct its redevelopment/parking lot project. Once this Modification is approved and complete, the City will be able to use available TIF revenues from the TIF District to pay for all or a portion of this project. Due to the timing of the potential acquisition, the City Council could authorize the up-front usage of general City funds, with a repayment from available TIF revenues.

Because of the recordkeeping challenges inherent with this transaction, it is not completely clear whether statutory guidelines requiring the notification of the County Board and the School Board on the Modification are necessary. After talking with City Administrator Martin, we believe the best course of action is to hold the public hearing at the July 6 Council meeting to introduce the Modification, go into particulars as to what the money may be used for, and receive general comments from the public. Then, instead of closing the public hearing, the Council may keep the hearing open to the August 3 meeting, to receive any comments from the County Board and the School Board (and any other comments it wishes to receive from the general public). At that time, if the project is still available, the Council would be able to formally approve the Modification and enter into any other documentation that is necessary.

During the remainder of July, I will work with Administrator Martin to conduct sufficient outreach to the County and the School District on the particulars of the Modification. We do not expect any impediments from either body, but it is a good measure of professional courtesy and transparency.

Additionally, if any last-minute budgetary adjustments or project changes need to be made, those can be handled and processed at the August portion of the public hearing.

Please contact me if you have any questions on this Memorandum. I will also be available at the Council workshop prior to the July 6 meeting to discuss this matter.

**MODIFICATION TO THE
TAX INCREMENT FINANCING PLAN
for
TAX INCREMENT FINANCING DISTRICT NO. 1
a
REDEVELOPMENT TIF DISTRICT
CITY OF BAYPORT, MINNESOTA**

Approved: July 6, 2015

This document was drafted by:

Eckberg, Lammers, Briggs, Wolff & Vierling, P.L.L.P. (AJP)
1809 Northwestern Avenue
Stillwater, Minnesota 55082
651.439.2878

MODIFICATION TO THE TAX INCREMENT FINANCING PLAN

TAX INCREMENT FINANCING DISTRICT NO. 1

(A REDEVELOPMENT TIF DISTRICT)

THIS MODIFICATION TO THE TAX INCREMENT FINANCING PLAN FOR TAX INCREMENT FINANCING DISTRICT NO. 1 (A REDEVELOPMENT TIF DISTRICT) is approved by the City Council of the City of Bayport, Minnesota, this 6th day of July, 2015 (referred to herein as the "Modification").

RECITALS

WHEREAS, the City of Bayport, Minnesota (the "City"), has undertaken a program to promote the redevelopment of underutilized and structurally substandard land, buildings and improvements located in the City, and in connection therewith created Municipal Development District No. 1 (the "Development District") on April 27, 1990; and

WHEREAS, also on April 27, 1990, the City created Tax Increment Financing District No. 1, a redevelopment district (the "TIF District"), pursuant to Minnesota Statutes, Sections 469.174 through 469.1794, as amended (the "TIF Act"), by approving a Tax Increment Financing Plan therefor (the "TIF Plan"), which TIF District is located within the Development District, approximately bounded by Central Avenue and Fourth Street on the north and south, and Main Street and Third Streets on the east and west; and

WHEREAS, the TIF District is a redevelopment district, and pursuant to Section 469.176, Subdivision 4j of the TIF Act, for all TIF districts certified after May 1, 1988, at least 90% of tax increment revenues must be used to finance the costs of correcting conditions that allow designation of a redevelopment district, such as acquiring properties containing structurally substandard buildings or improvements or hazardous substances, acquiring adjacent parcels necessary to provide a size of sufficient size to permit development, demolition and rehabilitation of structures, clearing of the land, the removal of hazardous substances or remediation necessary to the development of the land, and installation of utilities, roads, sidewalks and parking facilities for the site; and

WHEREAS, the TIF District is not subject to the requirement of Section 469.1763, Subdivision 2 of the TIF Act, which requires all districts certified after April 30, 1990 to spend at least 75% of total tax increment revenues derived from the district within the boundaries of the district; and

WHEREAS, the TIF District is also not subject to the "five-year rule" of Section 469.1763, Subdivision 3 of the TIF Act, which requires all districts certified after April 30, 1990 to spend TIF revenues on certain qualifying activities within five years after certification of the district; and

WHEREAS, the TIF Plan was first amended on August 20, 1990, to reallocate funds between the budgetary categories in the TIF Plan; and

WHEREAS, the TIF Plan was amended again on January 30, 1991, to provide for a further reallocation of funds between the budgetary categories in the TIF Plan; and

WHEREAS, the TIF Plan was amended again on June 17, 1991, to provide for a further reallocation of funds between the budgetary categories in the TIF Plan, as well as to increase the total project costs identified in the TIF Plan; and

WHEREAS, the TIF Plan was amended again on November 7, 1994, to provide for an increase in area of the Development District and a further reallocation of funds between the budgetary categories in the TIF Plan; and

WHEREAS, the TIF Plan was amended again on April 17, 1995, to provide for a further reallocation of funds between the budgetary categories in the TIF Plan; and

WHEREAS, on October 1, 2001, the City issued its General Obligation Refunding Bonds of 2001, in the total aggregate principal amount of \$1,535,000 (the "TIF Bonds"), to refinance a series of general obligation bonds that paid off obligations originally incurred to finance activities within the TIF District; and

WHEREAS, the TIF Bonds are primarily payable from tax increment revenues derived from the TIF District, and carry a final maturity (without possibility of optional redemption) of December 1, 2016; and

WHEREAS, the City has identified leftover unencumbered revenues in the TIF District funding account that may be used for eligible projects under the TIF Act; and

WHEREAS, one such project is the acquisition and redevelopment of vacant and blighted properties located at 169 Third Street North in the City (vacuum store and parking lot, collectively the "Property"), with the City redeveloping the Property into a new municipal parking lot to provide 20 to 21 parking stalls (the "Project"); and

WHEREAS, in order to use unencumbered funds derived from the TIF District, it is necessary to amend the TIF Plan to reallocate funds between the budgetary categories in the TIF Plan, which will authorize use of available funds for the Project, but without increasing the overall budget in the TIF Plan.

MODIFICATION

Section 7 of the Tax Increment Financing Plan for Tax Increment Financing District No. 1, a redevelopment district, as amended by amendments adopted on August 20, 1990, January 30, 1991, June 17, 1991, November 7, 1994, and April 17, 1995, shall be amended to include the following costs:

Estimated Eligible Costs

1. Public Water Storage/Water Distribution System/Sanitary Sewer System/Storm Sewer and Street	\$1,374,716.00
2. Downtown Redevelopment Project/Parking Lot (169 Third Street North)	416,450.00
3. Administration, Legal and Bonding	<u>58,834.00</u>
Total	\$1,850,000.00

This Modification is in substitution for the project costs previously identified in Section 7 of the Tax Increment Financing Plan for Tax Increment Financing District No. 1, a redevelopment district, and previous amendments thereto. It also supplies authorization for the City to use revenues derived from TIF District No. 1 to acquire and redevelop vacant and blighted properties located at 169 Third Street North in the City. Therefore, the funds allocated above will be used to finance the cost of correcting conditions that allowed for the designation of TIF District No. 1 initially, including acquiring properties containing structurally substandard buildings or improvements, acquiring adjacent parcels necessary to provide a site of sufficient size to permit development, demolition and rehabilitation of structures, clearing of the land, and the installation of sidewalks and parking facilities for the site.

No other amendments to the TIF Plan for the TIF District are contemplated as a result of this Modification.



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 30, 2015
To: Honorable Mayor and City Council
From: Logan Martin, City Administrator
Re: Consider additional building options for the new Fire Hall

BACKGROUND

On May 4, the City Council authorized the final set of bids for the new Fire Hall project, formally approving the construction of the facility. Site grading, excavation, and the footing/foundation work have been happening ever since. As discussed at that time, the bid results for the project were favorable, thus creating an opportunity to reconsider two features of the building (dorms and in-floor heat for the apparatus bay) that had been previously discussed but not included. Staff has been working with the architect and construction management team to receive cost estimates on these two additions and analyze the budget's capacity to accomplish any of these items.

Below are cost estimates for these two items, including a comparison of available project revenue to overall costs.

OPTION 1 (Both Additions)

Total revenue available	\$5,419,950
Construction budget (no additions)	\$5,366,912
Dormitory addition	\$152,000
In-Floor Heat (apparatus bay area)	\$80,807
**deduct for HVAC downsizing	-\$38,000
Total	\$5,561,719
Revenue shortfall (surplus)	\$141,769

OPTION 2 (Dorms only)

Total revenue available	\$5,419,950
Construction budget (no additions)	\$5,366,912
Dormitory addition	\$152,000
Total	\$5,518,912
Revenue shortfall (surplus)	\$98,962

OPTION 3 (In-Floor Heat only)

Total revenue available	\$5,419,950
Construction budget (no additions)	\$5,366,912
In-Floor Heat (apparatus bay area)	\$80,807
**deduct for HVAC downsizing	-\$38,000
Total	\$5,409,719
Revenue shortfall (surplus)	(\$10,231)

The "total revenue available" calculation includes the City's up-front cash contribution, the results of the City's recent bond sale, as well as the recent finalization of grant amounts pledged from private foundations. While the original project budget was higher than shown above, the actual revenue available to the project has been updated since that time based on the three major sources of funds, which ultimately has changed the reality of what the City can truly afford for the project.

As shown above, Option 3 is the only option that shows project expenditures projected to remain under revenue upon completion. Options 1 and 2 could be considered, however the City Council would need to indicate an additional source of funds to finance those additions, as the revenue currently allocated to the project is not sufficient.

Discussion on Alternatives

Per the opinion of Kraus Anderson, the installation of in-floor heat is only logically installed at time of initial construction, as returning later in the life of the project to add that feature is difficult and very costly. According to the project team, in-floor heat in the apparatus bay would prove to be a significant improvement over ceiling mounted heat, as it is more effective at melting snow and ice, thus improving firefighter safety in the apparatus bay, and is also safer on the vehicles (equipment, paint) while parked in the garage.

The dorm feature would be a future requirement of the building if the Fire Department were to transition to a full time scenario (duty crew, full time Chief, etc.). As discussed in previous Council meetings, there is an opportunity to add the dorm feature later in the life of the project. While this work would likely be at an increased cost in the future as compared to present day costs, the building's systems are sized appropriately to accept additional load, and there is space on the property to do an addition as needed. Repurposing of existing space in the new building has also been discussed, and could be analyzed in the future as the need for dorms potentially arises.

In order to stay on schedule for the construction of the Fire Hall, a final decision on any additions to the building is needed. Should any of the options shown above be authorized, bids would be requested from the affected contractors. If proposals received are substantially different than projected, the Council would have the ability to cancel the addition.

RECOMMENDATION

Staff recommends the City Council authorize Kraus Anderson and Leo Daly to design and accept bids for the addition of _____, with the option to cancel the project based on bid results.



3601 Thurston Avenue N, Suite 100
Anoka, MN 55303
Phone: 763.231.5840
Facsimile: 763.427.0520
TPC@PlanningCo.com

PLANNING REPORT

TO: Bayport Mayor and City Council

FROM: D. Daniel Licht, AICP

RE: Bayport – Inspiration Phase III-B; Final Plat

REPORT DATE: 16 June 2015

60-DAY DATE: 18 July 2015

TPC FILE: 195.02 – 15.01

A. BACKGROUND

Mattamy Homes, Inc, has submitted application for final plat approval of Inspiration 3rd Addition. The proposed Inspiration 3rd Addition final plat consists of 76 single family lots and seven outlots as the first of two phases of development of Inspiration Phase III-B. A PUD General Development Plan and preliminary plat for Inspiration Phase III-B was approved by the City Council on 4 May 2015 that established entitlements to development of 115 single family lots and seven outlots. The Inspiration development was originally approved by the City Council in October of 2004 as a PUD general development plan and preliminary plat that included a total of 328 residential housing units and 145 acres of restored native prairie open space. There are 137 single family lots that have been final platted and developed within Phase I and Phase III-A.

Exhibits:

- Approved Preliminary Plat dated April 10, 2015
- Final Plat
- Sanitary Sewer, Water Main, Storm Sewer and Street Construction Plans May 20, 2015

B. ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides development of the subject site for a mix of residential land uses and natural features based on the previously approved PUD general development plan and preliminary plat for Inspiration approved in 2004. The single family lots and open space land uses proposed for Inspiration 3rd Addition are consistent with the intent of the City’s Comprehensive Plan for future land use development of the subject site.

Zoning. The subject site is zoned R- PUD District with a base zoning classification of R-2, Single Family Urban District and permitted uses as set forth in Section 6 of the Zoning Ordinance. Development of single family lots as a permitted use and open spaces complies with the PUD District. A PUD permit will be drafted by the City Attorney prior to City Council consideration of the final plat application establishing the uses, lot requirements, setbacks and other stipulations of the PUD general development plan approval.

Lot Requirements. Inspiration Phase III-B was approved with unique lot requirements that deviated from the standard requirements of the City’s R-2, Single Family Urban Zoning District. These requirements, shown in the table below, were allowed given the context of the overall PUD general development plan and preliminary plat that includes permanent open space and the ability of these lots to accommodate a range of house styles and sizes. All of the proposed lots within Inspiration 3rd Addition comply with these requirements and are consistent with the Inspiration Phase III-B PUD general development plan and preliminary plat.

	3 rd Add.
Min. Lot Area	7,668sf.
Min. Lot Width	65ft.
Min. Lot Depth	125ft.
Max. Impervious Lot Coverage	48%

Setbacks. The Inspiration Phase III-B PUD general development plan and preliminary plat was approved with setbacks that deviated from the requirements of the R-2 Zoning District and previous Inspiration PUD District. The Inspiration Phase III-B PUD general development plan establishes a 7.5 foot setback from interior side lot lines regardless of whether the building is part of the dwelling or part of an attached garage to simplify construction upon each lot and ensures a minimum 15 foot separation between principal buildings for rear yard access and fire safety.

	3 rd Add.
Front	20ft.
Side Corner	20ft.
Interior	7.5ft.
Rear	20ft.

Open Space. The proposed Inspiration 3rd Addition includes Outlots A, B, C, D, E and F to be established as permanent open space. The outlots are to be deeded to the City, preserved through a conservation easement and held by Minnesota Land Trust, and maintained by the Inspiration Stewardship Foundation consistent with the 2004 Inspiration and Inspiration Phase III-B PUD general development plan and preliminary plat approvals. The developer will install the plantings as shown on the landscape plan and complete the prairie seeding in accordance with the 2012 restoration plan within the outlots prior to the City accepting the improvements. The HOA open space approved with the Inspiration Phase III-B general development plan and preliminary plat is not included within this phase of development.

Streets. The developer will construct public streets within Inspiration 3rd Addition within a 50 foot wide right-of-way and with a 26 foot wide street section. Inspiration 3rd Addition will provide for connection to existing internal streets at Primrose Path and Planters Path allowing a second neighborhood access to Stagecoach Trail. The streets are to be posted no parking on the B612 curb side of the street to ensure adequate width for emergency vehicles at all times and the developer must revise the submitted street construction plans to include installation of no parking signs. All street designs, street construction and street signs plans are subject to review and approval by the City Engineer. The construction of the intersection of Inspiration Parkway North with Stagecoach Trail, including turn and bypass lanes, is subject to review and approval of Washington County.

Trails/Sidewalks. A five foot wide concrete sidewalk is to be constructed along one side of the public streets within Inspiration 3rd Addition as shown on the construction plans. The trail plan for provision of eight foot wide asphalt off-street trails through Outlots C and D will be completed with the Inspiration 3rd Addition Improvements. The section of five foot wide sidewalk within Outlot C adjacent to Inspiration Parkway North is to be replaced with eight foot wide trail for City maintenance purposes. The combination of sidewalks and trails within Inspiration 3rd Addition is consistent with the Inspiration Phase III-B PUD general development plan and preliminary plat.

Grading Plan. The developer has submitted a final grading plan for Inspiration Phase III-B and the proposed 3rd Addition. All grading, drainage and erosion control plans and issues have been reviewed by the Middle St. Croix Watershed District and approved by the City Engineer. Site grading is occurring under a preliminary grading agreement pending final plat approval and is subject to on-going oversight of the City Engineer.

Utility Plan. The developer has submitted plans for construction of sanitary sewer, water main and storm sewer within Inspiration 3rd Addition. The utility plan must be revised to identify the location of proposed street lights within Inspiration 3rd Addition, which are to be installed only at street intersections and trail entrances. All sanitary sewer, water main, storm sewer and street light plans are subject to review and approval by the City Engineer. Comments from the City Engineer will be provided at the Planning Commission meeting.

Easements. The Inspiration 3rd Addition final plat illustrates 10 foot wide drainage and utility easements at the perimeter of all of the single family lots (overlying the side lot lines five feet each side). All easements are subject to review and approval of the City Engineer in accordance with Section 7.7 of the Subdivision Ordinance.

Park Dedication. Development of Inspiration 3rd Addition remains subject to the Inspiration Master Development Agreement entered into upon approval of the original final plat for Phase I on April 4, 2005. The Master Development Agreement requires that subsequent final plats of Inspiration after Phase I would satisfy park dedication requirements established in Section 8 of the Subdivision Ordinance through payment of a cash fee in lieu of land equal to 10 percent of the fair market value of the subject site. An additional \$1,000 park dedication fee is to be charged at the time the building permit is issued for each lot. The fair market value of the subject site is to be established for Inspiration 3rd Addition based upon the sale price of Inspiration Phase III-B between Inspiration Holdings LLC and Mattamy Homes, Inc. resulting in the following calculation:

Determination of Fee for Phase III-B:

- \$2,750,000 purchase price x 51.26ac. = \$53,648/ac.
- 51.26ac. – 19.09ac. Outlots (not including Outlot B) = 32.17ac. net developable area
- \$53,648/ac. x 32.17ac. = \$1,725,858 x 10% = \$172,586
- \$172,586 / 115 lots = \$1,501/lot

Calculation for Inspiration 3rd Addition:

- 76 lots x \$1,501/lot = \$114,076

Development Agreement and PUD Permit. The developer will be required to enter into a separate development agreement and PUD permit specifically for Inspiration Phase III-B and Inspiration 3rd Addition as a condition of final plat approval. The City Attorney will coordinate execution of these documents prior to consideration of the final plat by the City Council.

Outlot G. The proposed Inspiration 3rd Addition final plat consists of 76 of the 115 single family lots approved as the Inspiration Phase III-B PUD general development plan and preliminary plat. Outlot G is final platted as a future phase of development for the remaining 39 single family lots within Inspiration Phase III-B. The phasing plan requires future application for final plat approval for the remaining 39 single family lots within Inspiration Phase III-B.

Planning Commission. The Planning Commission was to consider the Inspiration 3rd Addition final plat at their meeting on 15 June 2015. However, there was not a quorum of the Planning Commission present to make a formal recommendation. Mr. Rick Packer of Mattamy Homes, Inc. was in attendance, but there were no members of the public. The Planning Commission members in attendance did concur with the recommendations of City staff, as presented. The

other two Planning Commissioners not in attendance did submit written support of the final plat application to City staff following the meeting.

C. CITY STAFF RECOMMENDATION

Our office and City staff recommends approval of the Inspiration 3rd Addition final plat subject to the conditions outlined in Section “D” below.

D. SUGGESTED FINDINGS OF FACT AND CONDITIONS OF APPROVAL

The Planning Commission is asked to consider approval of the Inspiration 3rd Addition final plat subject to the following stipulations:

1. Single family lots shall be subject to the following lot and setback requirements:

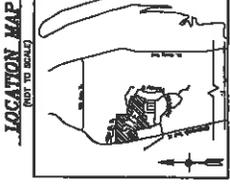
Lot Requirements:	
Min. Lot Area	7,668sf.
Min. Lot Width	65ft.
Min. Lot Depth	100ft.
Max. Impervious Lot Coverage	48%
Setbacks:	
Front	20ft.
Side Corner	20ft.
Interior	7.5ft.
Rear	20ft.

2. Outlots A, B, C, D, E and F as shown on the Inspiration 3rd Addition final plat shall be deeded to the City, preserved through a conservation easement and held by Minnesota Land Trust and maintained by the Inspiration Stewardship Foundation; the developer shall complete the landscaping and prairie restoration plan for Outlots A, B, C, D, E and F prior to the City assuming responsibility for the maintenance of the outlots.
3. The builder shall provide for installation of two street/yard trees to be installed after home construction is complete.
4. Construction of the north intersection of Inspiration Parkway and Stagecoach Trail (CR 21) is subject to Washington County approval and the developer will be required to reimburse the City for all costs related to obtaining the required access and right-of-way permits.

5. One side of all public streets shall be designated as no parking zones and the developer shall be required to install no parking signage as deemed necessary by the City Engineer prior to occupancy of any single family homes within Inspiration Phase III-B.
 6. All street designs, street construction and all street signs are subject to review and approval by the City Engineer.
 7. All grading, drainage and erosion control plans and issues are subject to review and approval by the City Engineer.
 8. All sanitary sewer, water main, storm sewer and street light plans are subject to review and approval by the City Engineer.
 9. All easements are subject to review and approval of the City Engineer.
 10. Satisfaction of park dedication requirements established in Section 8 of the Subdivision Ordinance shall be through payment of a cash fee of \$114,076 for the Inspiration 3rd Addition final plat; an additional \$1,000 park dedication fee is to be charged at the time the building permit is issued for each lot.
 11. The developer will be required to enter into a separate developer's agreement and PUD permit specifically for Inspiration Phase III-B and Inspiration 3rd Addition prior to City Council consideration of the final plat.
- c. Logan Martin, City Administrator
Sara Taylor, Assistant City Administrator/City Planner
Andy Pratt, City Attorney
John Parotti, City Engineer
Rick Packer, Mattamy Homes, Inc.
Terry Forbord, Inspiration Holdings, LLC

INSPIRATION 3RD ADDITION

BAYPORT, MINNESOTA



Carlson McCain
 ENVIRONMENTAL - ENGINEERING - SURVEYING
 248 Apollo Dr, Suite 100, Lind Lake, MN 55014
 Phone: 763-489-7200 Fax: 763-489-7959

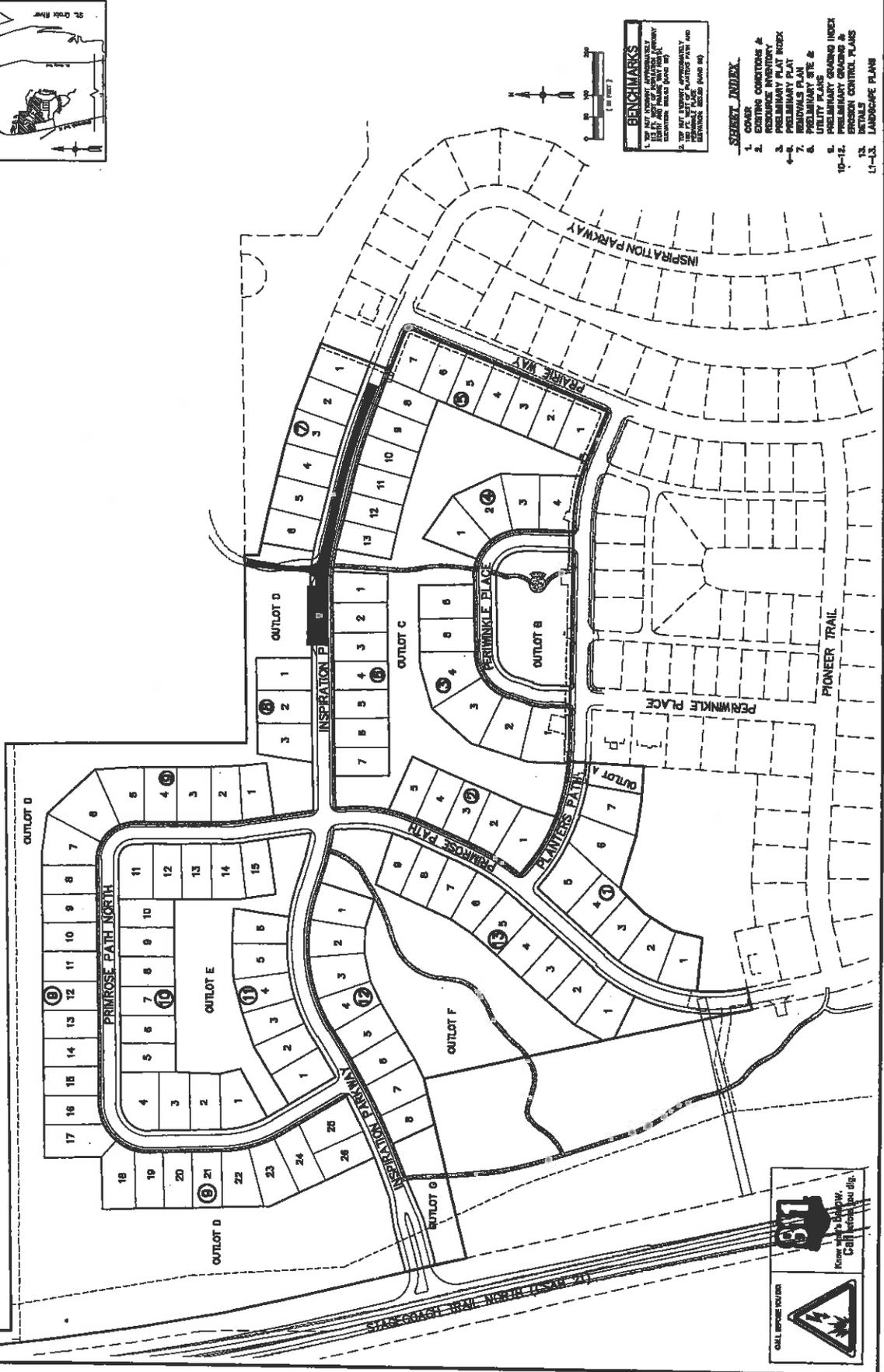
INSPIRATION 3RD ADDITION
 Bayport, Minnesota

COVER SHEET

MATTANY HOMES, LLC
 7201 Washington Avenue - Suite 201
 Edina, MN 55439

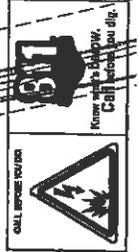
NO.	REVISIONS
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DATE: 08/12/2014
 DRAWN BY: J. J. JENSEN
 CHECKED BY: J. J. JENSEN
 PROJECT NO.: 14-001
 SHEET NO.: 1 OF 13



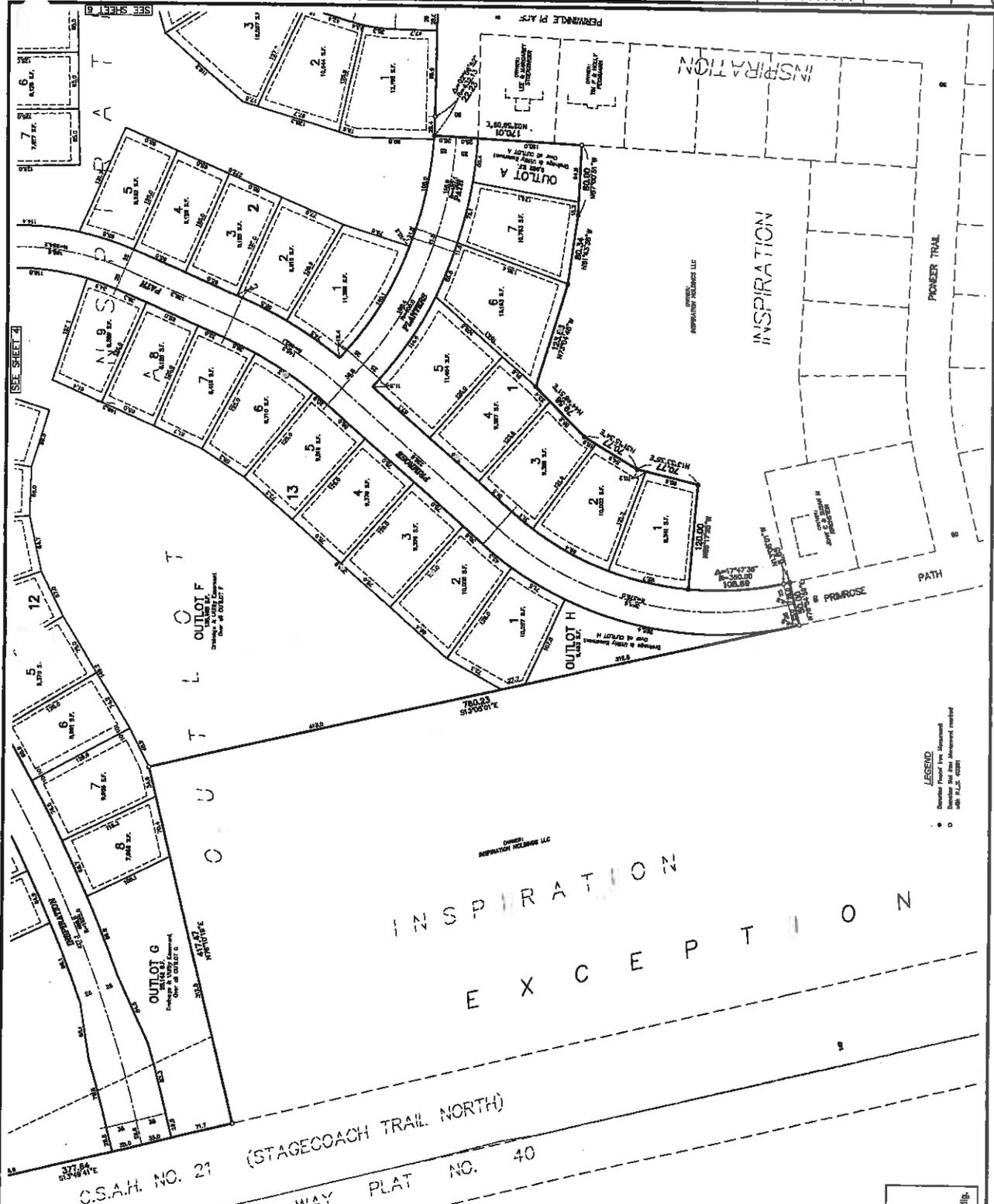
BENCHMARKS
 1. ALL BENCHMARKS SHALL BE PERMANENTLY MARKED WITH AN IRON PIPE OR ANOTHER DURABLE MATERIAL.
 2. THE BENCHMARK SHALL BE APPROXIMATELY 10 FEET ABOVE THE FINISHED GRADE AND SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER.
 3. THE BENCHMARK SHALL BE APPROXIMATELY 10 FEET FROM THE PROPERTY LINE AND SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER.

- SUBJECT INDEX**
1. CONSTRUCTION & RECORDING INVENTORY
 2. PRELIMINARY PLAT INDEX
 3. PRELIMINARY PLAT INDEX
 4. PRELIMINARY PLAT INDEX
 5. PRELIMINARY PLAT INDEX
 6. PRELIMINARY PLAT INDEX
 7. PRELIMINARY PLAT INDEX
 8. PRELIMINARY PLAT INDEX
 9. PRELIMINARY PLAT INDEX
 - 10-12. PRELIMINARY GRADING & EROSION CONTROL PLANS
 13. DETAILS
 - 14-15. LANDSCAPE PLANS



NO. OF SHEETS	13
SHEET NO.	5
DATE	11/11/11
PROJECT	INSPIRATION 3RD ADDITION
OWNER	MATTAMY HOMES, LLC
DESIGNER	CARLSON MCCAIN
CHECKED BY	
DATE	

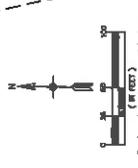
1. This plat is subject to all applicable laws, rules, and regulations of the State of Minnesota, including but not limited to the Uniform Land Use Review Procedure Act (ULURPA), and the Minnesota State Board of Public Works. The plat is prepared in accordance with the provisions of the Act.



LEGEND
 • Easement Parcel (see Attachment)
 ○ Easement Parcel (see Attachment)
 with P.L.C. 0289

INSPIRATION
 EXCEPTION

C.S.A.H. NO. 21 (STAGECOACH TRAIL NORTH)
 HIGHWAY RIGHT OF WAY PLAT NO. 40

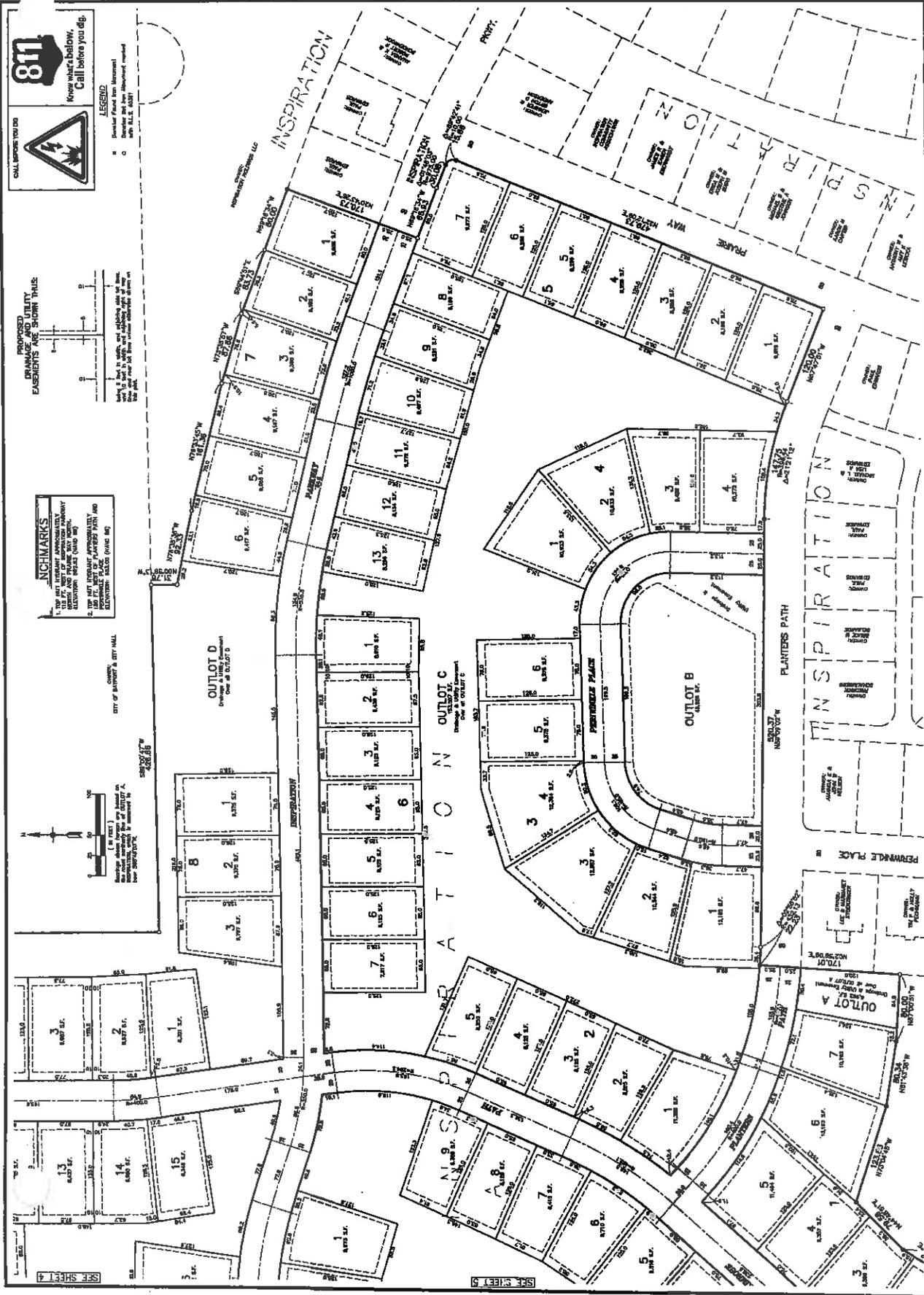


PREPARED BY
 CARLSON MCCAIN
 ENGINEERS AND SURVEYORS
 248 Apollo Dr., Suite 200
 Lindero Park, MN 55014

BENCHMARKS
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CALL 811 FOR UTILITY INFORMATION

811
 Know what's below.
 Call before you dig.



811
 CALL BEFORE YOU DIG
 Know what's below.
 Call before you dig.

LEGEND

- Existing Field Line (Minimum)
- Centerline and Area (Minimum)
- Centerline and Area (Minimum)
- Centerline and Area (Minimum)



NICHMARKS

- THE 1/4" = 1' SCALE SHALL BE USED TO DETERMINE THE LOCATION OF ALL ELEVATION POINTS (GRADE BARS).
- THE 1/4" = 1' SCALE SHALL BE USED TO DETERMINE THE LOCATION OF ALL ELEVATION POINTS (GRADE BARS).
- THE 1/4" = 1' SCALE SHALL BE USED TO DETERMINE THE LOCATION OF ALL ELEVATION POINTS (GRADE BARS).

CITY OF BAYPORT & 3RD HALL

DATE: 03/15/11

REMOVALS PLAN LEGEND

EXISTING
 1. EXISTING CONCRETE
 2. EXISTING ASPHALT
 3. EXISTING GRAVEL
 4. EXISTING SAND
 5. EXISTING DIRT
 6. EXISTING ROCK
 7. EXISTING TREE
 8. EXISTING SHrub

PROPOSED
 1. PROPOSED CONCRETE
 2. PROPOSED ASPHALT
 3. PROPOSED GRAVEL
 4. PROPOSED SAND
 5. PROPOSED DIRT
 6. PROPOSED ROCK
 7. PROPOSED TREE
 8. PROPOSED SHrub

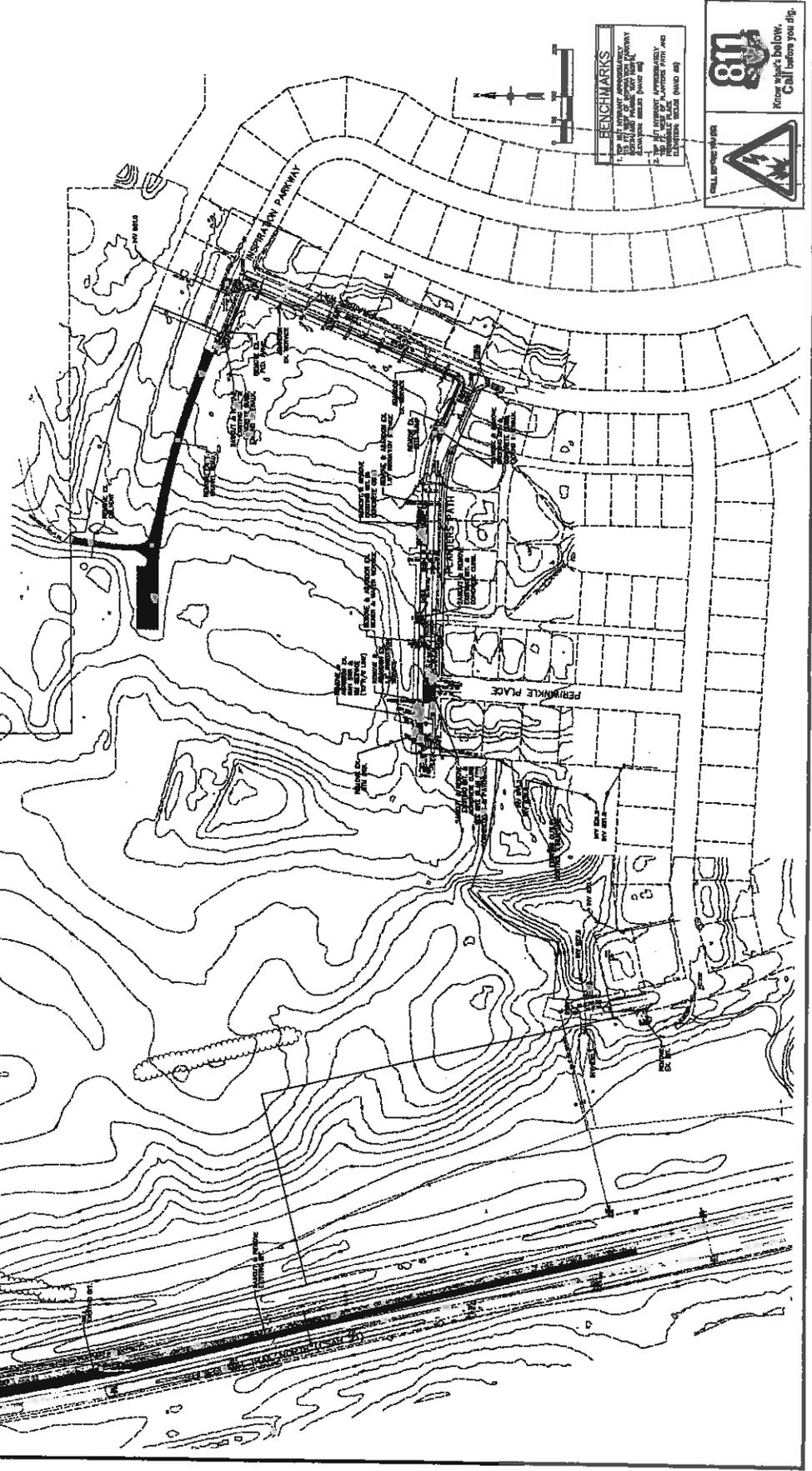
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REMOVALS
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 2. PROPOSED REMOVALS

ADDITIONS
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 2. PROPOSED ADDITIONS

OTHER
 1. EXISTING OTHER
 2. PROPOSED OTHER



BENCHMARKS

1. THE BENCHMARK APPROXIMATELY 100 FEET NORTH OF THE PROPERTY LINE (SEE PLAN FOR LOCATION)

2. THE BENCHMARK APPROXIMATELY 100 FEET WEST OF THE PROPERTY LINE (SEE PLAN FOR LOCATION)

3. THE BENCHMARK APPROXIMATELY 100 FEET SOUTH OF THE PROPERTY LINE (SEE PLAN FOR LOCATION)

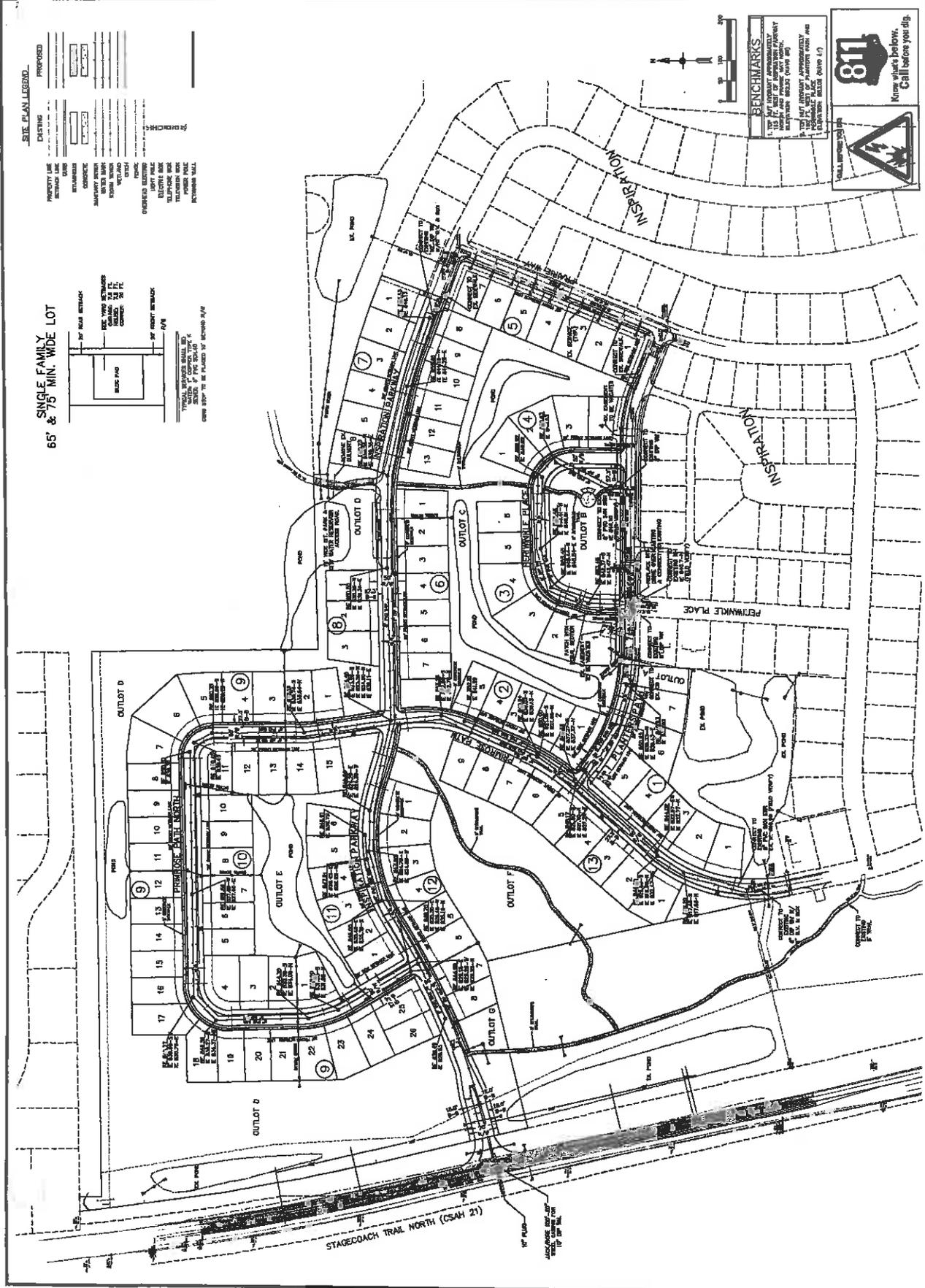
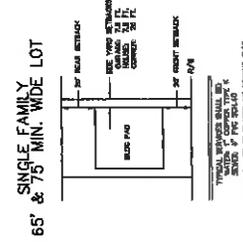
4. THE BENCHMARK APPROXIMATELY 100 FEET EAST OF THE PROPERTY LINE (SEE PLAN FOR LOCATION)

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 Know what's below.
 Call before you dig.

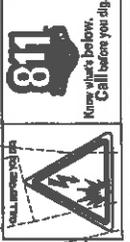
CALL BEFORE YOU DIG

SITE PLAN LEGEND

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EXISTING SIDEWALK	PROPOSED SIDEWALK
EXISTING UTILITY	PROPOSED UTILITY
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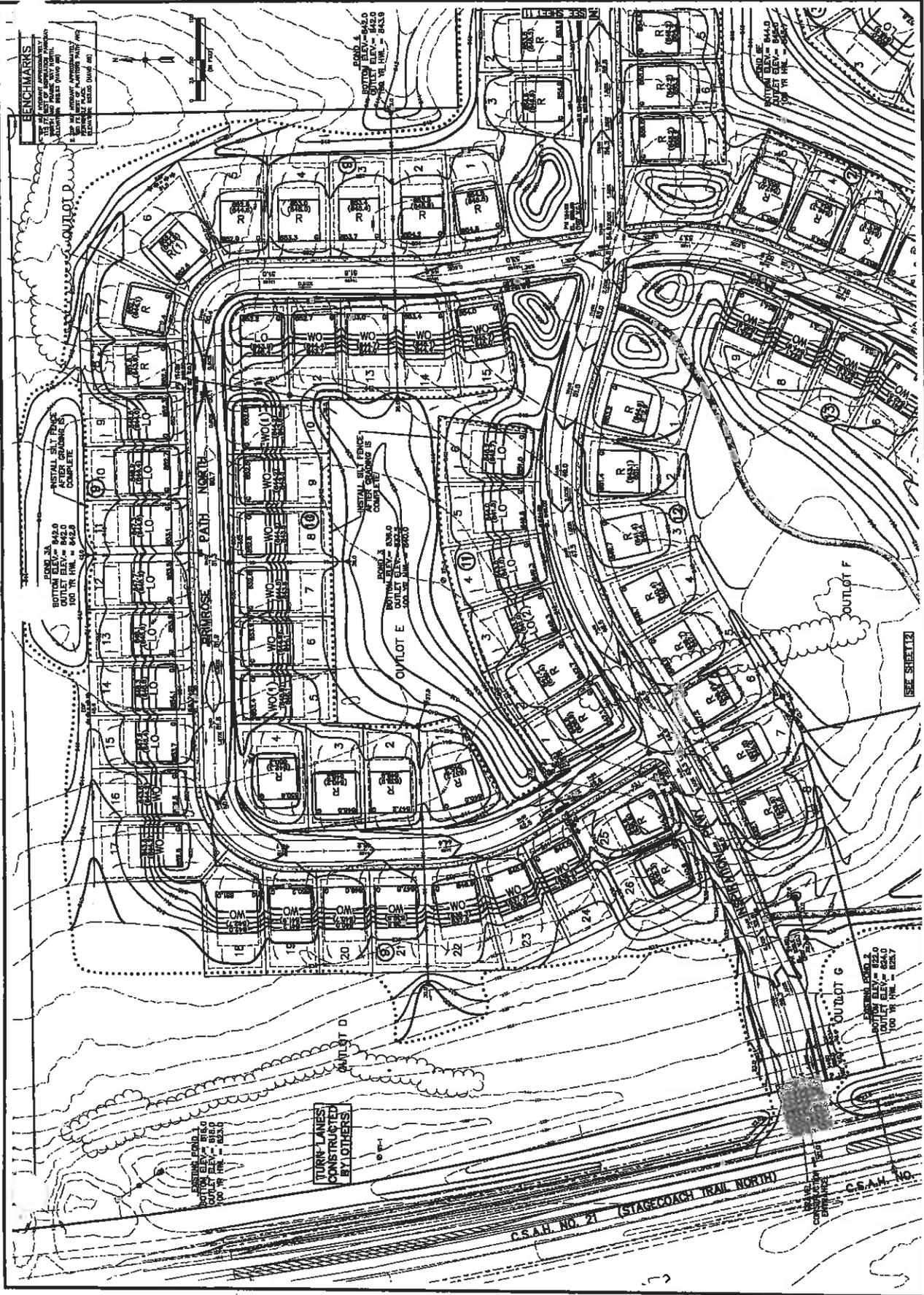


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REVISIONS

NO.	DATE	DESCRIPTION
1	02/27/13	ISSUED FOR PERMITS
2	03/11/13	REVISED PER COMMENTS
3	03/11/13	REVISED PER COMMENTS
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5	03/11/13	REVISED PER COMMENTS
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100	03/11/13	REVISED PER COMMENTS



BENCHMARKS
 TO THE EAST OF INSPIRATION 3RD ADDITION
 1. BENCHMARK 1: ELEVATION 842.0
 2. BENCHMARK 2: ELEVATION 842.0
 3. BENCHMARK 3: ELEVATION 842.0
 4. BENCHMARK 4: ELEVATION 842.0
 5. BENCHMARK 5: ELEVATION 842.0
 6. BENCHMARK 6: ELEVATION 842.0
 7. BENCHMARK 7: ELEVATION 842.0
 8. BENCHMARK 8: ELEVATION 842.0
 9. BENCHMARK 9: ELEVATION 842.0
 10. BENCHMARK 10: ELEVATION 842.0

POINT 2A
 BOTTOM ELEV = 842.0
 100.7% FILL = 842.0
 100.7% FILL = 842.0

POINT 2B
 BOTTOM ELEV = 842.0
 100.7% FILL = 842.0
 100.7% FILL = 842.0

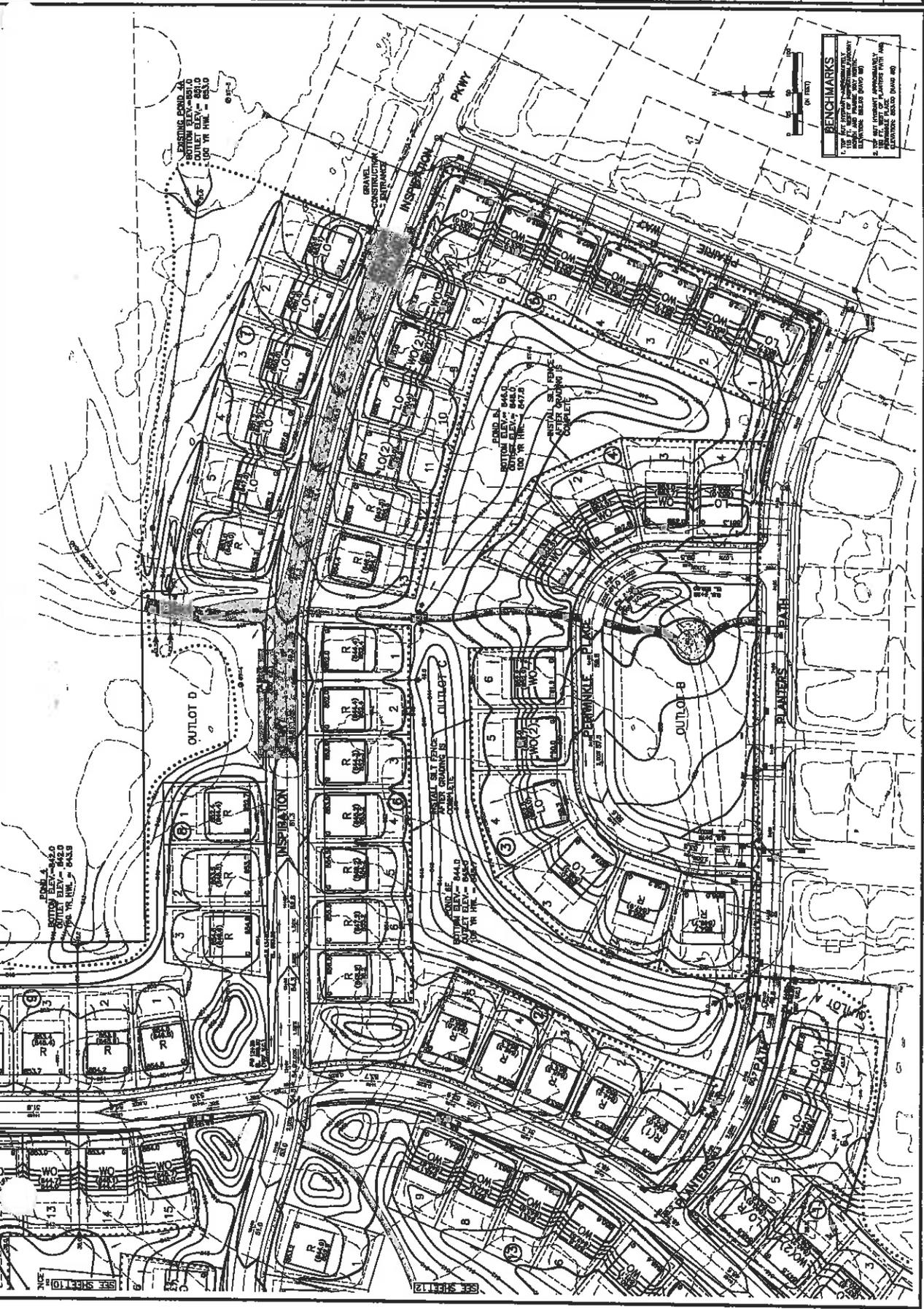
POINT 2C
 BOTTOM ELEV = 842.0
 100.7% FILL = 842.0
 100.7% FILL = 842.0

POINT 2D
 BOTTOM ELEV = 842.0
 100.7% FILL = 842.0
 100.7% FILL = 842.0

TURN LANES
 CONSTRUCTED
 BY OTHERS

C.S.A.H. NO. 21 (STAGECOACH TRAIL NORTH)

C.S.A.H. NO.



BENCHMARKS
 THE ELEVATION OF BENCHMARKS SHOWN ON THIS PLAN IS APPROXIMATELY ACCURATE AS SHOWN ON THE ORIGINAL SURVEY DATA.
 THE ELEVATION OF BENCHMARKS SHOWN ON THIS PLAN IS APPROXIMATELY ACCURATE AS SHOWN ON THE ORIGINAL SURVEY DATA.
 THE ELEVATION OF BENCHMARKS SHOWN ON THIS PLAN IS APPROXIMATELY ACCURATE AS SHOWN ON THE ORIGINAL SURVEY DATA.

DATE	12/13
PROJECT	INSPIRATION 3RD ADDITION
CLIENT	MATTAMY HOMES, LLC
DESIGNER	Carlson McCain
CHECKED BY	
APPROVED BY	
SCALE	
PROJECT NO.	
SHEET NO.	12
TOTAL SHEETS	13



BENCHMARKS
 ALL ELEVATIONS ARE MEASUREMENTS TO THE TOP SURFACE OF THE BENCHMARK UNLESS OTHERWISE NOTED.
 ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 ALL ELEVATIONS ARE TO THE CENTER OF THE BENCHMARK UNLESS OTHERWISE NOTED.

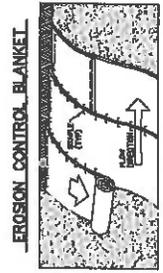
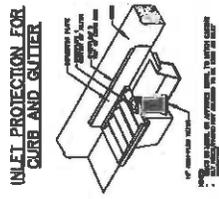
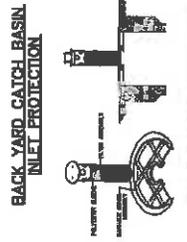
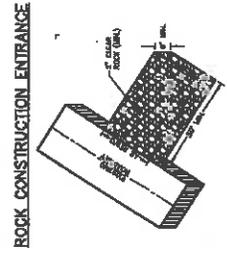
TURN LANES
 TO BE
 CONSTRUCTED
 BY OTHERS

SEE SHEET 11
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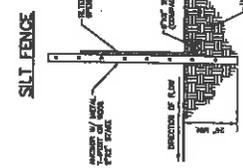
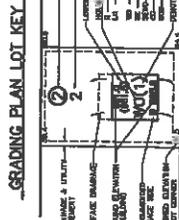
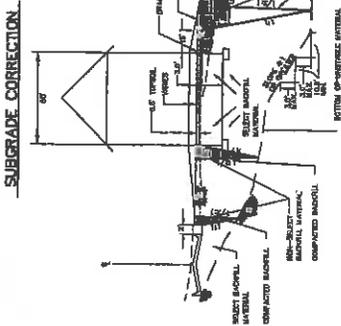
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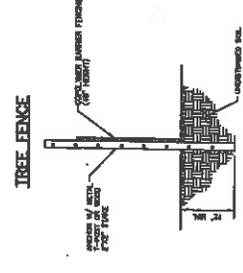
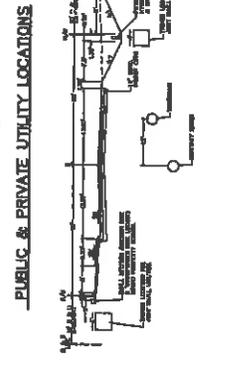
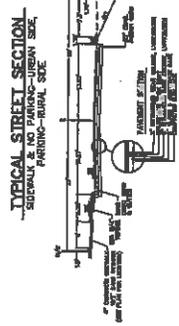
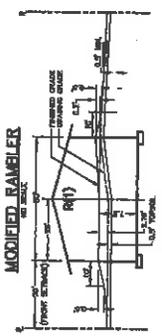
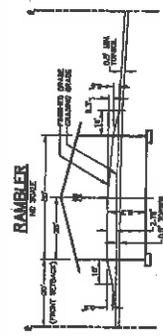
DETAILS



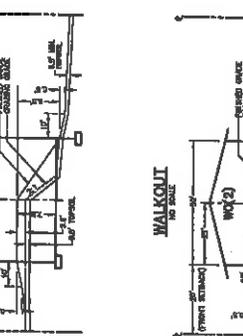
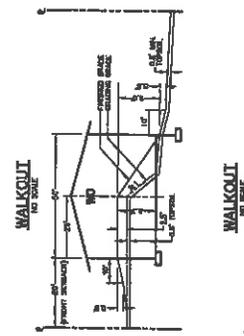
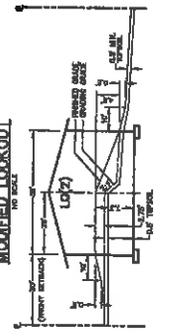
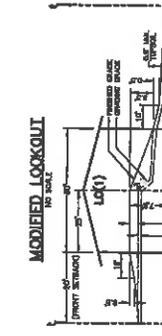
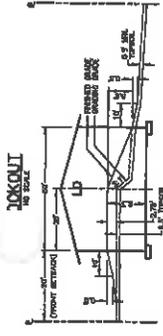
- NOTES:**
1. APPROVE AND INSTALL EROSION CONTROL BLANKETS, INCLUDING APPLICATION OF TACK, FORMATION AND/OR SEED.
 2. BLANKETS SHALL BE INSTALLED AT THE TOP OF THE SLOPE, DOWN SLOPE AND UP SLOPE TO THE TRIGGER AFTER TRIGGERING.
 3. EROSION CONTROL BLANKETS SHALL BE INSTALLED AT THE TOP OF THE SLOPE.
 4. THE CORNER OF EROSION CONTROL BLANKETS MUST BE STAPLED WITH A MINIMUM OF 2 STAPLES.
 5. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT BLANKETS.
 6. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 7. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 8. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 9. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 10. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 11. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 12. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.
 13. EROSION CONTROL BLANKETS SHALL BE INSTALLED WITH AN OVERLAP OF 6" TO 12" BETWEEN ADJACENT ROWS.



- NOTES:**
1. SEE A 3" x 6" TRENCH ALONG THE EXTERIOR SIDE OF THE TRENCH.
 2. TRENCH SHALL BE FILLED WITH SAND AND BLACK FILL 4" x 6" TRENCH.
 3. LAY OUT SILT FENCE ALONG THE UPRIGHT LINE OF THE ATTACHMENT 3' x 6" TRENCH.
 4. SECURE ATTACHMENT TO FENCE TO ANCHOR POINTS BY MEANS OF THREE ATTACHMENTS PER FOOT.
 5. SEE DETAIL CONNECTIONS 3' x 6" TRENCH.



- NOTES:**
1. TREE FENCE SHALL BE 1 FOOT PER DIAMETER INCH OF TREE DIAMETER.
 2. TREE FENCE SHALL BE 1 FOOT PER DIAMETER INCH OF TREE DIAMETER.
 3. ANCHOR POINT MAY BE SPACED UP TO 15 FEET APART.
 4. SEE DETAIL CONNECTIONS 3' x 6" TRENCH.



PRELIMINARY PLANT SCHEDULE

CODE	QTY	COMMON NAME / LATIN NAME	SIZE	ROOT	REMARKS
A	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
B	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
C	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
D	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
E	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
F	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
G	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
H	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
I	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
J	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
K	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
L	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
M	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
N	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
O	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
P	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
Q	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
R	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
S	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
T	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
U	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
V	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
W	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
X	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
Y	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH
Z	14	BRADY WHITE OAK	2" CAL.	BB	STRAWN LEADER & BRUSH

PLANT KEY
 ○ DECIDUOUS TREE
 ○ ORNAMENTAL TREE
 ○ E-GREEN TREE
 ○ VARIOUS SHRUBS
 ■ MUD-JIT SEED MIX 33-621
 ■ MUD-JIT SEED MIX 33-641
 ■ REFER TO SHEET L2/3 FOR SEED MIX SCHEDULES

NOTES:
 • PRAIRIE RESTORATION SEEDING BY OTHERS PER MAINTENANCE PLAN FOR OUTLOTS A, C, & D.
 • PRAIRIE RESTORATION SEEDING BY OTHERS PER MAINTENANCE PLAN FOR OUTLOT B.
 • TWO (2) STREET/TWY-30 TREES WILL BE PROVIDED BY BUILDER UPON COMPLETION OF HOME CONSTRUCTION.
 • QUANTITIES ARE IN LOTS AT E PLUM FOR PLANT SELECTIONS AND QUANTITIES.



BENCHMARKS
 1. THE 811 SERVICE CENTER
 2. THE 811 SERVICE CENTER
 3. THE 811 SERVICE CENTER
 4. THE 811 SERVICE CENTER
 5. THE 811 SERVICE CENTER
 6. THE 811 SERVICE CENTER
 7. THE 811 SERVICE CENTER
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 9. THE 811 SERVICE CENTER
 10. THE 811 SERVICE CENTER

811
 Know what's below.
 Call before you dig.

PRELIMINARY SCHEDULES

Item	Quantity	Unit	Rate (\$/hr)	% of Bid	Amount (\$)
1.000000	1.00	hr	4.11	11.30%	4.11
2.000000	2.00	hr	4.11	11.30%	8.22
3.000000	3.00	hr	4.11	11.30%	12.33
4.000000	4.00	hr	4.11	11.30%	16.44
5.000000	5.00	hr	4.11	11.30%	20.55
6.000000	6.00	hr	4.11	11.30%	24.66
7.000000	7.00	hr	4.11	11.30%	28.77
8.000000	8.00	hr	4.11	11.30%	32.88
9.000000	9.00	hr	4.11	11.30%	36.99
10.000000	10.00	hr	4.11	11.30%	41.10
11.000000	11.00	hr	4.11	11.30%	45.21
12.000000	12.00	hr	4.11	11.30%	49.32
13.000000	13.00	hr	4.11	11.30%	53.43
14.000000	14.00	hr	4.11	11.30%	57.54
15.000000	15.00	hr	4.11	11.30%	61.65
16.000000	16.00	hr	4.11	11.30%	65.76
17.000000	17.00	hr	4.11	11.30%	69.87
18.000000	18.00	hr	4.11	11.30%	73.98
19.000000	19.00	hr	4.11	11.30%	78.09
20.000000	20.00	hr	4.11	11.30%	82.20
21.000000	21.00	hr	4.11	11.30%	86.31
22.000000	22.00	hr	4.11	11.30%	90.42
23.000000	23.00	hr	4.11	11.30%	94.53
24.000000	24.00	hr	4.11	11.30%	98.64
25.000000	25.00	hr	4.11	11.30%	102.75
26.000000	26.00	hr	4.11	11.30%	106.86
27.000000	27.00	hr	4.11	11.30%	110.97
28.000000	28.00	hr	4.11	11.30%	115.08
29.000000	29.00	hr	4.11	11.30%	119.19
30.000000	30.00	hr	4.11	11.30%	123.30
31.000000	31.00	hr	4.11	11.30%	127.41
32.000000	32.00	hr	4.11	11.30%	131.52
33.000000	33.00	hr	4.11	11.30%	135.63
34.000000	34.00	hr	4.11	11.30%	139.74
35.000000	35.00	hr	4.11	11.30%	143.85
36.000000	36.00	hr	4.11	11.30%	147.96
37.000000	37.00	hr	4.11	11.30%	152.07
38.000000	38.00	hr	4.11	11.30%	156.18
39.000000	39.00	hr	4.11	11.30%	160.29
40.000000	40.00	hr	4.11	11.30%	164.40
41.000000	41.00	hr	4.11	11.30%	168.51
42.000000	42.00	hr	4.11	11.30%	172.62
43.000000	43.00	hr	4.11	11.30%	176.73
44.000000	44.00	hr	4.11	11.30%	180.84
45.000000	45.00	hr	4.11	11.30%	184.95
46.000000	46.00	hr	4.11	11.30%	189.06
47.000000	47.00	hr	4.11	11.30%	193.17
48.000000	48.00	hr	4.11	11.30%	197.28
49.000000	49.00	hr	4.11	11.30%	201.39
50.000000	50.00	hr	4.11	11.30%	205.50
51.000000	51.00	hr	4.11	11.30%	209.61
52.000000	52.00	hr	4.11	11.30%	213.72
53.000000	53.00	hr	4.11	11.30%	217.83
54.000000	54.00	hr	4.11	11.30%	221.94
55.000000	55.00	hr	4.11	11.30%	226.05
56.000000	56.00	hr	4.11	11.30%	230.16
57.000000	57.00	hr	4.11	11.30%	234.27
58.000000	58.00	hr	4.11	11.30%	238.38
59.000000	59.00	hr	4.11	11.30%	242.49
60.000000	60.00	hr	4.11	11.30%	246.60
61.000000	61.00	hr	4.11	11.30%	250.71
62.000000	62.00	hr	4.11	11.30%	254.82
63.000000	63.00	hr	4.11	11.30%	258.93
64.000000	64.00	hr	4.11	11.30%	263.04
65.000000	65.00	hr	4.11	11.30%	267.15
66.000000	66.00	hr	4.11	11.30%	271.26
67.000000	67.00	hr	4.11	11.30%	275.37
68.000000	68.00	hr	4.11	11.30%	279.48
69.000000	69.00	hr	4.11	11.30%	283.59
70.000000	70.00	hr	4.11	11.30%	287.70
71.000000	71.00	hr	4.11	11.30%	291.81
72.000000	72.00	hr	4.11	11.30%	295.92
73.000000	73.00	hr	4.11	11.30%	300.03
74.000000	74.00	hr	4.11	11.30%	304.14
75.000000	75.00	hr	4.11	11.30%	308.25
76.000000	76.00	hr	4.11	11.30%	312.36
77.000000	77.00	hr	4.11	11.30%	316.47
78.000000	78.00	hr	4.11	11.30%	320.58
79.000000	79.00	hr	4.11	11.30%	324.69
80.000000	80.00	hr	4.11	11.30%	328.80
81.000000	81.00	hr	4.11	11.30%	332.91
82.000000	82.00	hr	4.11	11.30%	337.02
83.000000	83.00	hr	4.11	11.30%	341.13
84.000000	84.00	hr	4.11	11.30%	345.24
85.000000	85.00	hr	4.11	11.30%	349.35
86.000000	86.00	hr	4.11	11.30%	353.46
87.000000	87.00	hr	4.11	11.30%	357.57
88.000000	88.00	hr	4.11	11.30%	361.68
89.000000	89.00	hr	4.11	11.30%	365.79
90.000000	90.00	hr	4.11	11.30%	369.90
91.000000	91.00	hr	4.11	11.30%	374.01
92.000000	92.00	hr	4.11	11.30%	378.12
93.000000	93.00	hr	4.11	11.30%	382.23
94.000000	94.00	hr	4.11	11.30%	386.34
95.000000	95.00	hr	4.11	11.30%	390.45
96.000000	96.00	hr	4.11	11.30%	394.56
97.000000	97.00	hr	4.11	11.30%	398.67
98.000000	98.00	hr	4.11	11.30%	402.78
99.000000	99.00	hr	4.11	11.30%	406.89
100.000000	100.00	hr	4.11	11.30%	411.00

Item	Quantity	Unit	Rate (\$/hr)	% of Bid	Amount (\$)
1.000000	1.00	hr	4.11	11.30%	4.11
2.000000	2.00	hr	4.11	11.30%	8.22
3.000000	3.00	hr	4.11	11.30%	12.33
4.000000	4.00	hr	4.11	11.30%	16.44
5.000000	5.00	hr	4.11	11.30%	20.55
6.000000	6.00	hr	4.11	11.30%	24.66
7.000000	7.00	hr	4.11	11.30%	28.77
8.000000	8.00	hr	4.11	11.30%	32.88
9.000000	9.00	hr	4.11	11.30%	36.99
10.000000	10.00	hr	4.11	11.30%	41.10
11.000000	11.00	hr	4.11	11.30%	45.21
12.000000	12.00	hr	4.11	11.30%	49.32
13.000000	13.00	hr	4.11	11.30%	53.43
14.000000	14.00	hr	4.11	11.30%	57.54
15.000000	15.00	hr	4.11	11.30%	61.65
16.000000	16.00	hr	4.11	11.30%	65.76
17.000000	17.00	hr	4.11	11.30%	69.87
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30.000000	30.00	hr	4.11	11.30%	123.30
31.000000	31.00	hr	4.11	11.30%	127.41
32.000000	32.00	hr	4.11	11.30%	131.52
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44.000000	44.00	hr	4.11	11.30%	180.84
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50.000000	50.00	hr	4.11	11.30%	205.50
51.000000	51.00	hr	4.11	11.30%	209.61
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54.000000	54.00	hr	4.11	11.30%	221.94
55.000000	55.00	hr	4.11	11.30%	226.05
56.000000	56.00	hr	4.11	11.30%	230.16
57.000000	57.00	hr	4.11	11.30%	234.27
58.000000	58.00	hr	4.11	11.30%	238.38
59.000000	59.00	hr	4.11	11.30%	242.49
60.000000	60.00	hr	4.11	11.30%	246.60
61.000000	61.00	hr	4.11	11.30%	250.71
62.000000	62.00	hr	4.11	11.30%	254.82
63.000000	63.00	hr	4.11	11.30%	258.93
64.000000	64.00	hr	4.11	11.30%	263.04
65.000000	65.00	hr	4.11	11.30%	267.15
66.000000	66.00	hr	4.11	11.30%	271.26
67.000000	67.00	hr	4.11	11.30%	275.37
68.000000	68.00				

PLANTING NOTES:

- No planting to be installed until grading and construction has been completed in the immediate area.
- All plant material locations must be reviewed and approved by the landscape architect prior to any and all digging.
- If the landscape contractor specifies any deficiencies in the plant selections, soil conditions, or any other site condition which might negatively affect plant material establishment, survival or guarantee, they shall bring these deficiencies to the attention of the landscape architect prior to installation.
- Adjustments in the location of proposed plant material may be needed in the field. Should an adjustment be advised, the landscape architect must be notified.
- All plants to be installed per planting details.
- One shrub per type and size in each planting bed and every tree should be clearly identified (common or latin nomenclature) with a plastic tag which shall not be removed prior to owner acceptance.
- When sod/seed/shrub areas are prepared, finished grade of seed/sod shall be held 1" below surface elevation of each rock curb, etc.
- Sod shall be laid parallel to the contours and shall have staggered joints. On slopes steeper than 3:1 or in drainage swales, the sod shall be staked to the ground.
- Seed all areas disturbed due to grading other than those to receive sod.
- Repair all damage to property from planting operations at no cost to the owner.

IRRIGATION NOTES:

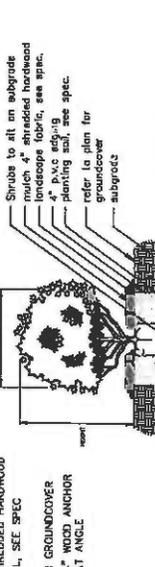
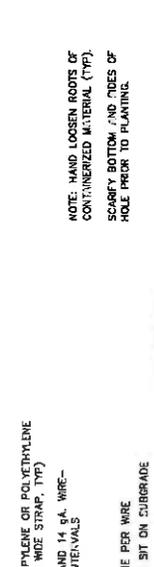
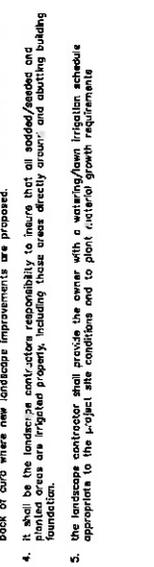
- Landscape Contractor shall be responsible for providing shop drawings illustrating irrigation plans and specifications as part of his scope of work when bidding. These shall be approved by the landscape architect prior to order.
- Verify existing/ proposed system location.
- Unless otherwise noted, all sod/seed and planting areas indicated on the plan shall be 100% irrigated. The irrigation shall include the public right of way between the property line and back of curb where new landscape improvements are proposed.
- It shall be the landscape contractor's responsibility to insure that all sodded/seeded and planted areas are irrigated properly, including these areas directly around and abutting building foundation.
- The landscape contractor shall provide the owner with a watering/soil irrigation schedule appropriate to the project site conditions and to plant watering/growth requirements.

PLANTING SPECIFICATIONS:

- PLANTING BED PREPARATION:** ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 12". AMENDMENTS SHALL BE APPLIED AFTER CULTIVATION.
- BACKFILL SOIL:** USE SOIL EXCAVATED FROM PLANTING HOLES & PROVIDE AMENDMENTS. REMOVE ALL DEBRIS AND ROCKS LARGER THAN 3" IN DIA.
- FERTILIZATION:** ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS.
- MULCH MATERIALS:** AS SPECIFIED ON LANDSCAPE PLANS, MASS MULCH ALL PLANTING BEDS TO 3" DEPTH OVER FIRST MAT WOOD BARRIER. ALL PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDED HARDWOOD MULCH TO RECEIVE 6" DEEP SHREDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
- TREE STAKING:** IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUARD THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS ON AN UPLIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD, ESPECIALLY WHERE WINDLUMPS, SOIL OR WIND CONTAMINANTS ARE A PROBLEM.
- TREE WRAPPING:** WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREEPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES IN THE FALL PRIOR TO 12-1 AND FEMGIE ALL WRAPPING BY 5-1.
- RODENT PROTECTION:** PROVIDE ON ALL TREES, EXCEPT SPRUCE UNLESS OTHERWISE NOTED.
- PLANTING PLAN:** ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. THE PLAN TAKES PRECEDENCE OVER THE NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.
- EDGING:** EDGING SHALL BE 2" P.V.C. CONCRETE OR STAKE EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION UNLESS OTHERWISE NOTED ON THE PLAN. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AND ANY ADJACENT TURF AREAS.

GENERAL NOTES:

- LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON THE PROPERTY WITH THE GENERAL CONTRACTOR AND BY Gopher State One Call PRIOR TO STAKING PLANT LOCATIONS.
- COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON THE SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON THE SITE WHETHER SHOWN ON THE DRAWINGS OR NOT, THEY SHALL BE PROTECTED AND SAVED TO THE MAXIMUM EXTENT POSSIBLE. ANY REMOVAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- BB TREES AND SHRUBS ARE BALLED AND BURLAPPED.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO SUBMISSION OF BID AND/OR QUOTATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST ADDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL HEAVY TREES AND SHRUBS WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION.
- WAIVER FOR THE LANDSCAPE MATERIALS SHALL BEGON ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.



NOTE: HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP). SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

Shrubs to sit on subgrade
 mulch, 4\"/>

NO.	DESCRIPTION	QUANTITY
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2	2. 4\"/>	
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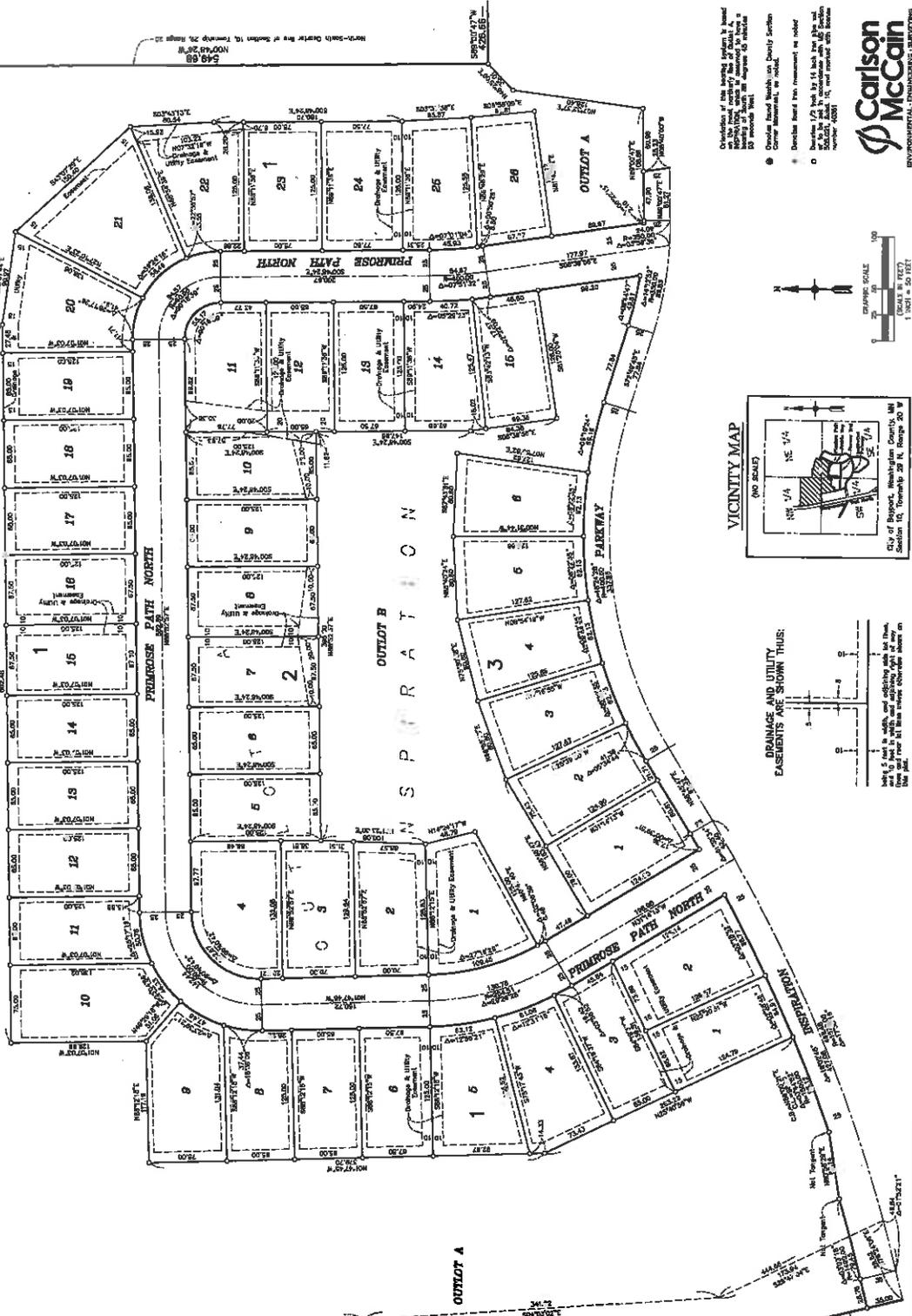
INSPIRATION 3RD ADDITION

INSET 'A'

WASHINGTON COUNTY HIGHWAY
RIGHT OF WAY PLAT NO. 25

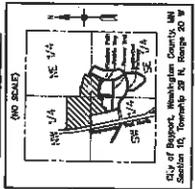
C.S.A.N.

NO. 21 (STAGECOACH TRAIL NORTH)
WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 40

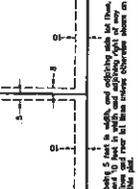


Division of the bearing subject to bear with the best boundary line of plat A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

VICINITY MAP



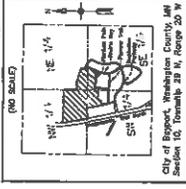
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



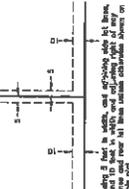
INSPIRATION 3RD ADDITION

INSET 'B'

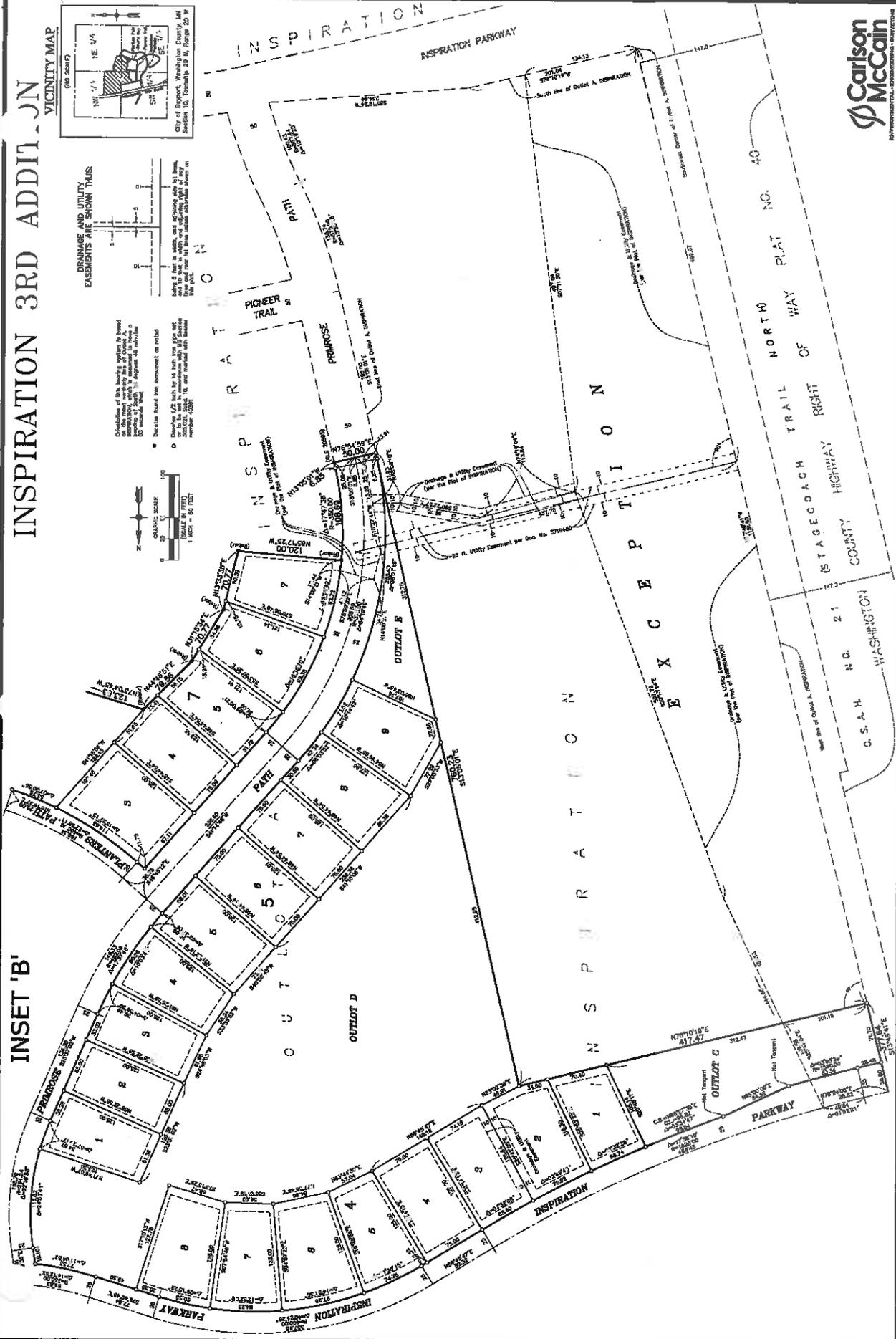
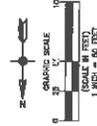
VICINITY MAP
(SEE SHEET)



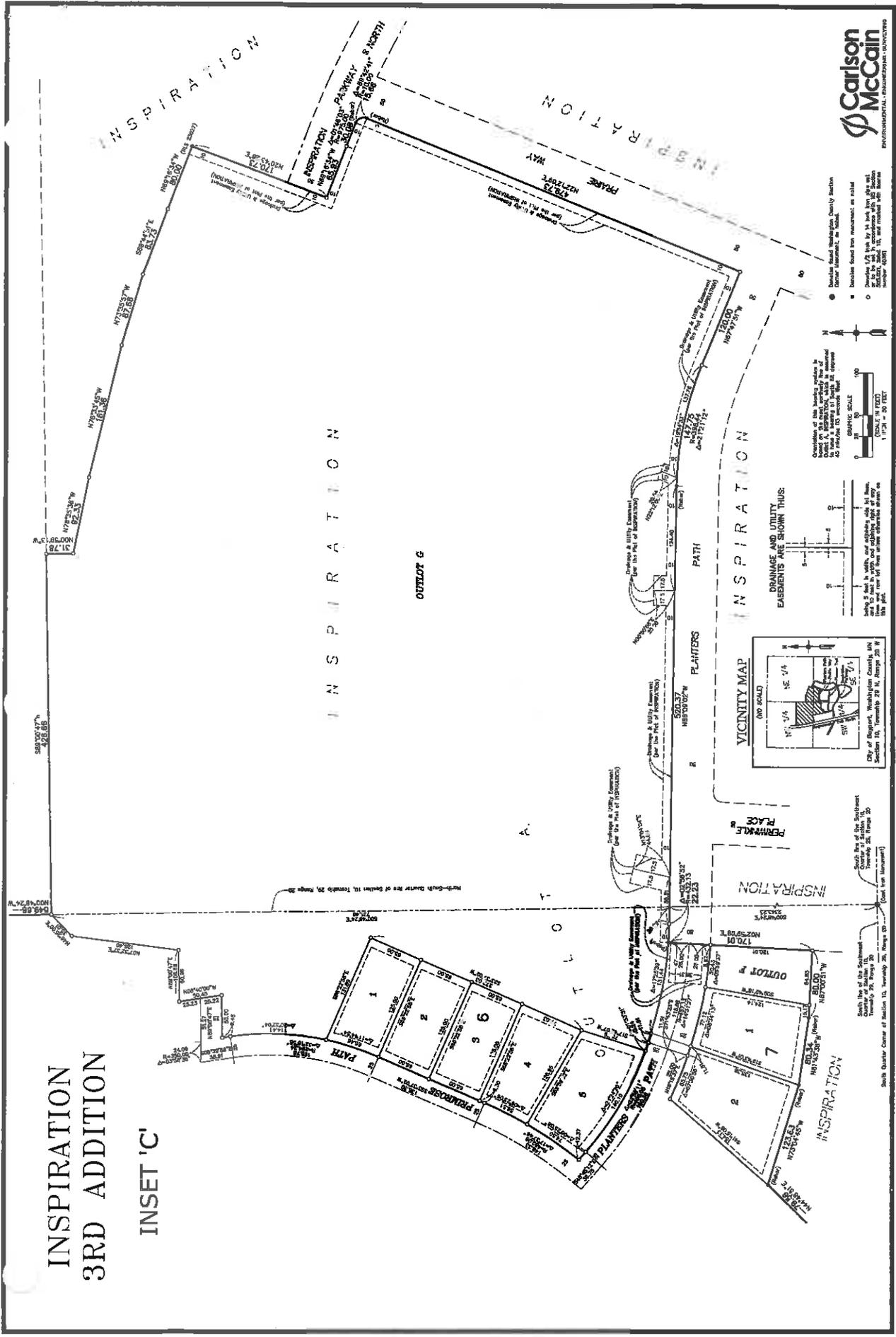
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Conditions of this plat, which are subject to the provisions of the City of Belpre, Washington County, MD, Ordinance No. 10, are hereby incorporated by reference into this plat. The plat is subject to the provisions of the City of Belpre, Washington County, MD, Ordinance No. 10, and is subject to the provisions of the City of Belpre, Washington County, MD, Ordinance No. 10.



Carlson
McCain
INCORPORATED - ENGINEERS AND ARCHITECTS

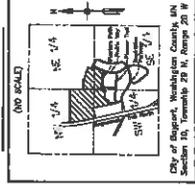


**INSPIRATION
3RD ADDITION**

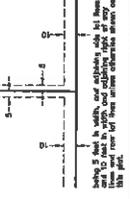
INSET 'C'

OUTLOT G

VICINITY MAP



**BRIDGE AND UTILITY
EASEMENTS ARE SHOWN THUS:**

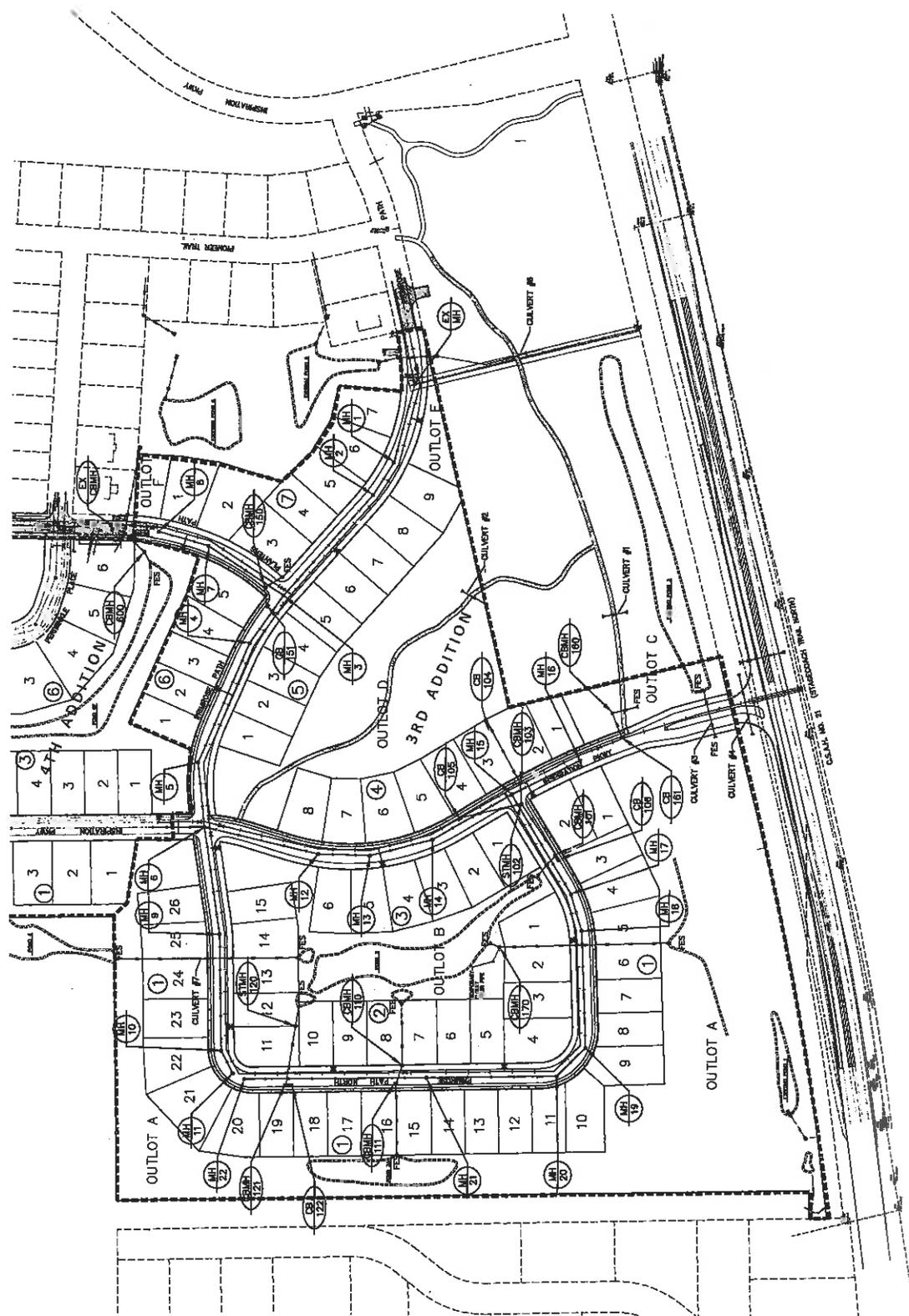


- Section lines from monument as shown
- Section lines from monument as shown
- Dashed 1/4 inch by 1/4 inch grid will show
- Section lines from monument as shown

Each line of the Subdivision
Center as shown in
Section 10, Township 28 N, Range 28 W

Each line of the Subdivision
Center as shown in
Section 11, Township 28 N, Range 28 W

Each line of the Subdivision
Center as shown in
Section 12, Township 28 N, Range 28 W



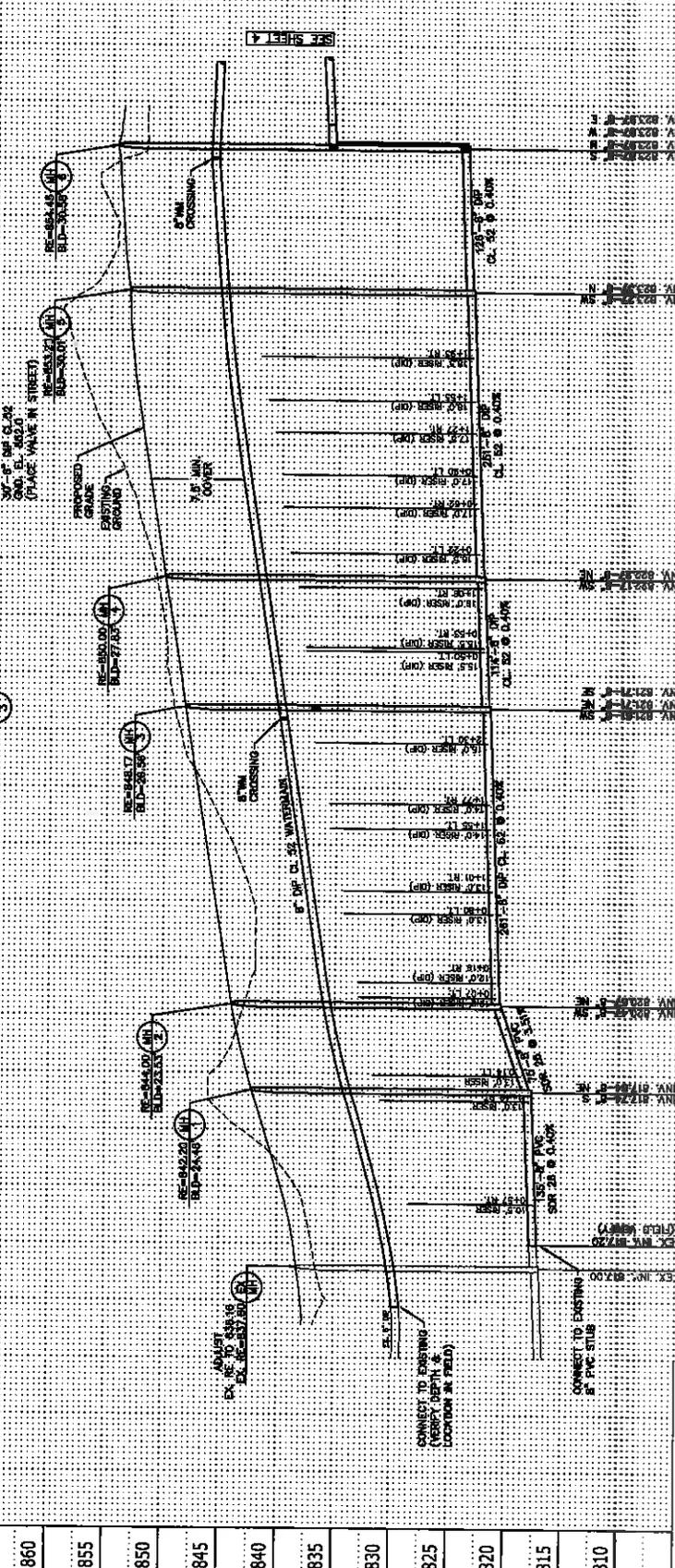
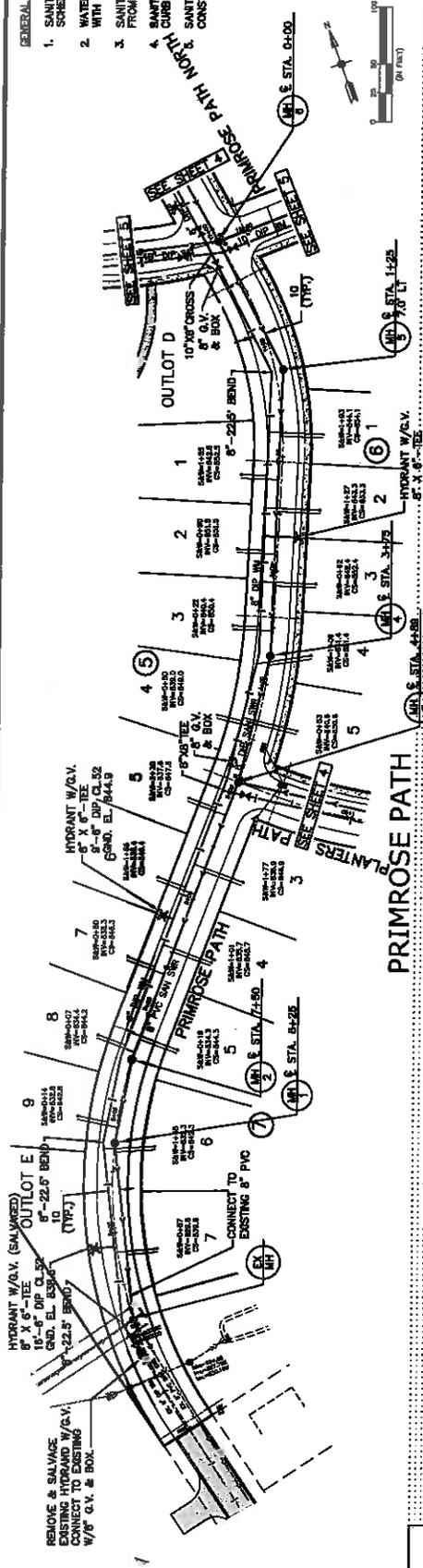
BENCHMARKS

1. 115.0 FT. WEST OF INSPIRATION PARKWAY
 2. 115.0 FT. WEST OF INSPIRATION PARKWAY
 3. 115.0 FT. WEST OF INSPIRATION PARKWAY
 4. 115.0 FT. WEST OF INSPIRATION PARKWAY
 5. 115.0 FT. WEST OF INSPIRATION PARKWAY
 6. 115.0 FT. WEST OF INSPIRATION PARKWAY
 7. 115.0 FT. WEST OF INSPIRATION PARKWAY
 8. 115.0 FT. WEST OF INSPIRATION PARKWAY
 9. 115.0 FT. WEST OF INSPIRATION PARKWAY
 10. 115.0 FT. WEST OF INSPIRATION PARKWAY
 11. 115.0 FT. WEST OF INSPIRATION PARKWAY
 12. 115.0 FT. WEST OF INSPIRATION PARKWAY
 13. 115.0 FT. WEST OF INSPIRATION PARKWAY
 14. 115.0 FT. WEST OF INSPIRATION PARKWAY
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 16. 115.0 FT. WEST OF INSPIRATION PARKWAY
 17. 115.0 FT. WEST OF INSPIRATION PARKWAY
 18. 115.0 FT. WEST OF INSPIRATION PARKWAY
 19. 115.0 FT. WEST OF INSPIRATION PARKWAY
 20. 115.0 FT. WEST OF INSPIRATION PARKWAY
 21. 115.0 FT. WEST OF INSPIRATION PARKWAY
 22. 115.0 FT. WEST OF INSPIRATION PARKWAY
 23. 115.0 FT. WEST OF INSPIRATION PARKWAY
 24. 115.0 FT. WEST OF INSPIRATION PARKWAY
 25. 115.0 FT. WEST OF INSPIRATION PARKWAY
 26. 115.0 FT. WEST OF INSPIRATION PARKWAY

GENERAL NOTES:

1. SANITARY SEWER SERVICES SHALL BE 4" PVC SCHEDULE 40.
2. WATER SERVICES SHALL BE 1" COPPER TYPE K WITH 7.5' MINIMUM COVER.
3. SANITARY SEWER INVERTS ARE STATIONED FROM THE DOWN STREAM MANHOLE.
4. SANITARY SEWER INVERTS ARE SHOWN AT THE CURB STOP
5. SANITARY SEWER & WATER SERVICES SHALL BE CONSTRUCTED TO BEYOND THE FRONT-OF-WAY.

BENCHMARKS	
1	TOP INT. ADJUTANT APPROXIMATELY 100 FT. WEST OF AIRPORT PARKWAY ELEVATION: 824.00 (D.A.M.)
2	TOP INT. ADJUTANT APPROXIMATELY 100 FT. WEST OF PLANNERS PATH ELEVATION: 840.00 (D.A.M.)



860
855
850
845
840
835
830
825
820
815
810

MATTAMY HOMES, LLC
7201 Washington Avenue - Suite 201
Edina, MN 55439

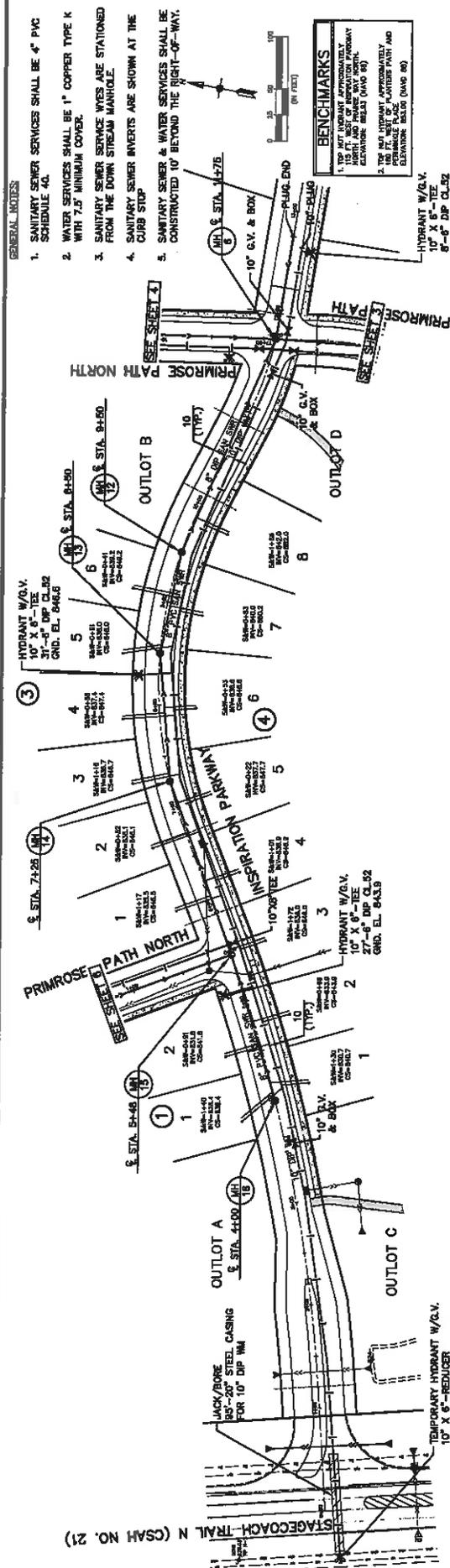
SANITARY SEWER & WATER MAIN

INSPIRATION 3RD ADDITION
Bayport, Minnesota

240 Apple Drive, Suite 100
Plymouth, MN 55442
Phone: (763) 499-7900
www.carlsonmccain.com

Drawn: [Name]
Checked: [Name]
Scale: [Scale]

3 of 16



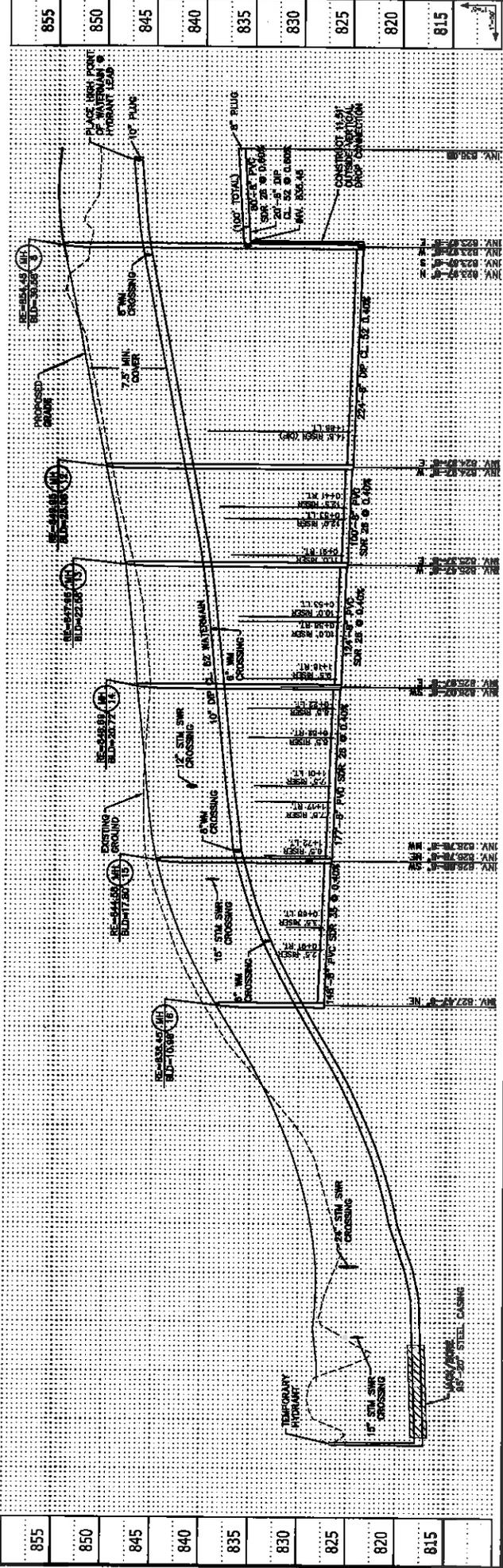
GENERAL NOTES

1. SANITARY SEWER SERVICES SHALL BE 4" PVC SCHEDULE 40.
2. WATER SERVICES SHALL BE 1" COPPER TYPE K WITH 7.5" MINIMUM COVER.
3. SANITARY SEWER SERVICE WYES ARE STATIONED FROM THE DOWN STREAM MANHOLE.
4. SANITARY SEWER INVERTS ARE SHOWN AT THE CURB STOP.
5. SANITARY SEWER & WATER SERVICES SHALL BE CONSTRUCTED 10' BEYOND THE RIGHT-OF-WAY.

BENCHMARKS

1. TOP SURF HYDRANT APPROXIMATELY 10' X 6" TEE.
2. 10' X 6" TEE OF INSPIRATION PARKWAY ELEVATION GREAT (MVD 80).
3. TOP SURF HYDRANT APPROXIMATELY 10' X 6" TEE OF LANTIER PART AND ELEVATION GREAT (MVD 80).

INSPIRATION PARKWAY



855
850
845
840
835
830
825
820
815

Carlson McCain
 2000 University Ave, Suite 100
 Princeton, MN 55370
 Phone: (763) 489-7300
 Fax: (763) 489-7309
 www.carlsonmccain.com

Project: **INSPIRATION 3RD ADDITION**
 Location: Bayport, Minnesota

Client: **MATTANY HOMES, LLC**
 7201 Washington Avenue - Suite 201
 Edina, MN 55439

Sheet: **5** of **16**
 Title: **SANITARY SEWER & WATER MAIN**

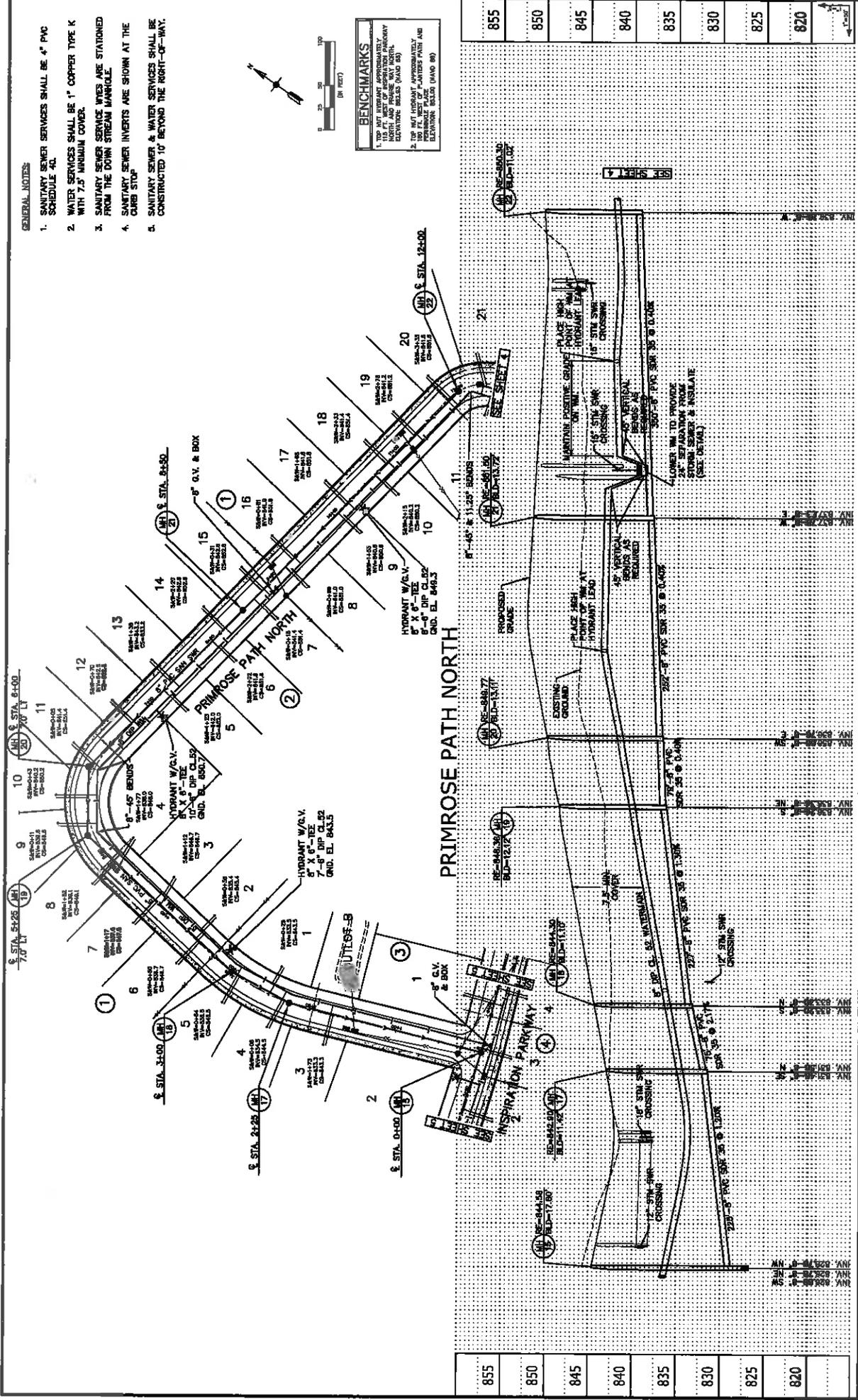
GENERAL NOTES:

1. SANITARY SEWER SERVICES SHALL BE 4" PVC SCHEDULE 40.
2. WATER SERVICES SHALL BE 1" COPPER TYPE K WITH 7.5 MINIMUM COVER.
3. SANITARY SEWER SERVICE VES ARE STATIONED FROM THE DOWN STREAM MANHOLE.
4. SANITARY SEWER INVERTS ARE SHOWN AT THE CURB STOP.
5. SANITARY SEWER & WATER SERVICES SHALL BE CONSTRUCTED TO BEYOND THE ROUGH-OF-WAY.



BENCHMARKS

1. THE DAT. POINT APPROXIMATELY NORTH AND FINISH WAS IDENTIFIED BY THE SURVEYOR (DAND 85)
2. THE DAT. POINT APPROXIMATELY NORTH AND FINISH WAS IDENTIFIED BY THE SURVEYOR (DAND 85)



PRIMROSE PATH NORTH

855	850	845	840	835	830	825	820
-----	-----	-----	-----	-----	-----	-----	-----

6 of 16

SANITARY SEWER & WATER MAIN

INSPIRATION 3RD ADDITION
Bayport, Minnesota

MATTANY HOMES, LLC
7201 Washington Avenue - Suite 201
Edina, MN 55439

Drawn: J.C. [Signature]
Checked: J.C. [Signature]
Date: 03/23/22

248 Park Drive, Suite 100
Littleton, CO 80120
Phone: (303) 750-1000
Fax: (303) 750-1000
www.carlsonmccain.com

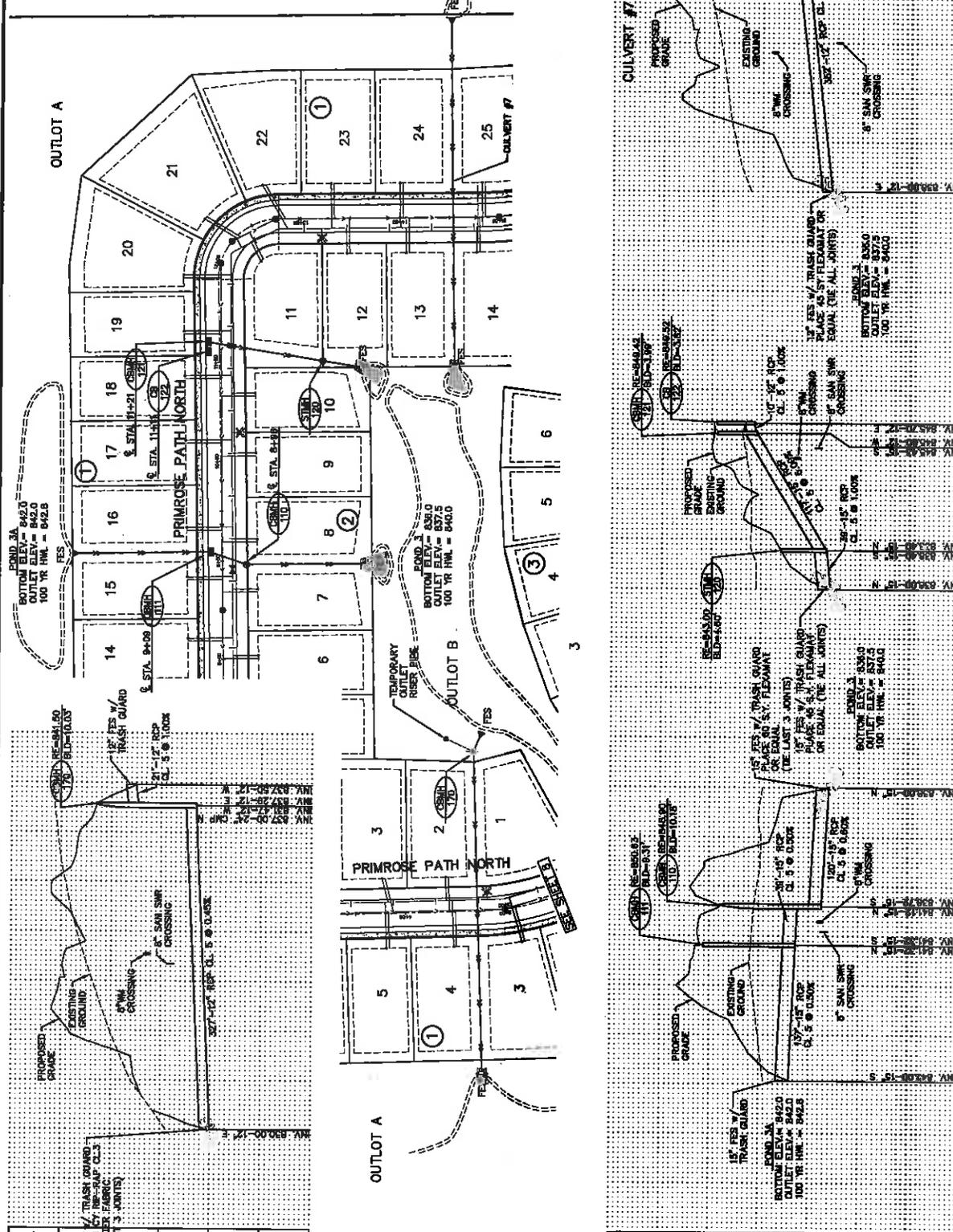
**Carlson
McCain**

STORM SEWER SCHEDULE		MANHOLE CASTING or EQUAL
STRUCTURE	TYPE & No.	SIZE
CBMH-110	48" DIA.	R-4342
CBMH-111	48" DIA.	R-3067-V
STWH-120	48" DIA.	R-1733
CBMH-121	48" DIA.	R-3067-VB
CB-122	24"x36"	R-3067-V
CBMH-170	48" DIA.	R-4342

GENERAL NOTES:
 1. INSTALL SEDIMENT CONTROL BARRIER INSERTS ON ALL CATCH BASINS (SEE DETAIL).



BENCHMARKS
 1. THE CITY OF MINNESOTA HAS A NETWORK OF BENCHMARKS THROUGHOUT THE CITY. NORTH AND SOUTH WAY POINTS ARE BENCHMARKS (W.P. 01).
 2. THE CITY OF MINNESOTA HAS A NETWORK OF BENCHMARKS THROUGHOUT THE CITY. NORTH AND SOUTH WAY POINTS ARE BENCHMARKS (W.P. 01).
 3. THE CITY OF MINNESOTA HAS A NETWORK OF BENCHMARKS THROUGHOUT THE CITY. NORTH AND SOUTH WAY POINTS ARE BENCHMARKS (W.P. 01).
 4. THE CITY OF MINNESOTA HAS A NETWORK OF BENCHMARKS THROUGHOUT THE CITY. NORTH AND SOUTH WAY POINTS ARE BENCHMARKS (W.P. 01).



845
17" RES. W/ TRASH GUARD PLACE 8' BY FLEXIMAT OR MULTIBLDER FABRIC (THE LAST 3 JOINTS)
835
830
825

855
850
845
840
835
830

7 of 16

INSPIRATION 3RD ADDITION
Bayport, Minnesota

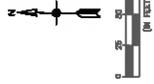
MATTANY HOMES, LLC
7201 Washington Avenue - Suite 201
Edina, MN 55439

Date: 08/20/24
Drawn: JDC
Checked: JDC
Project: Inspiration 3rd Addition
Client: Mattany Homes, LLC
Scale: As Shown
Sheet: 7 of 16

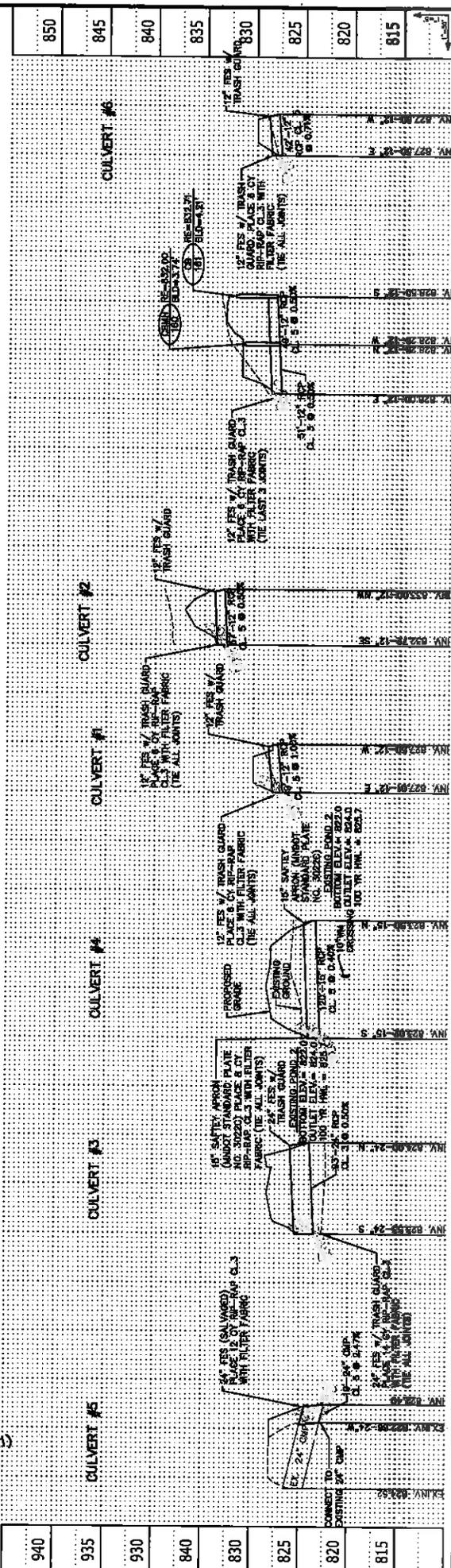
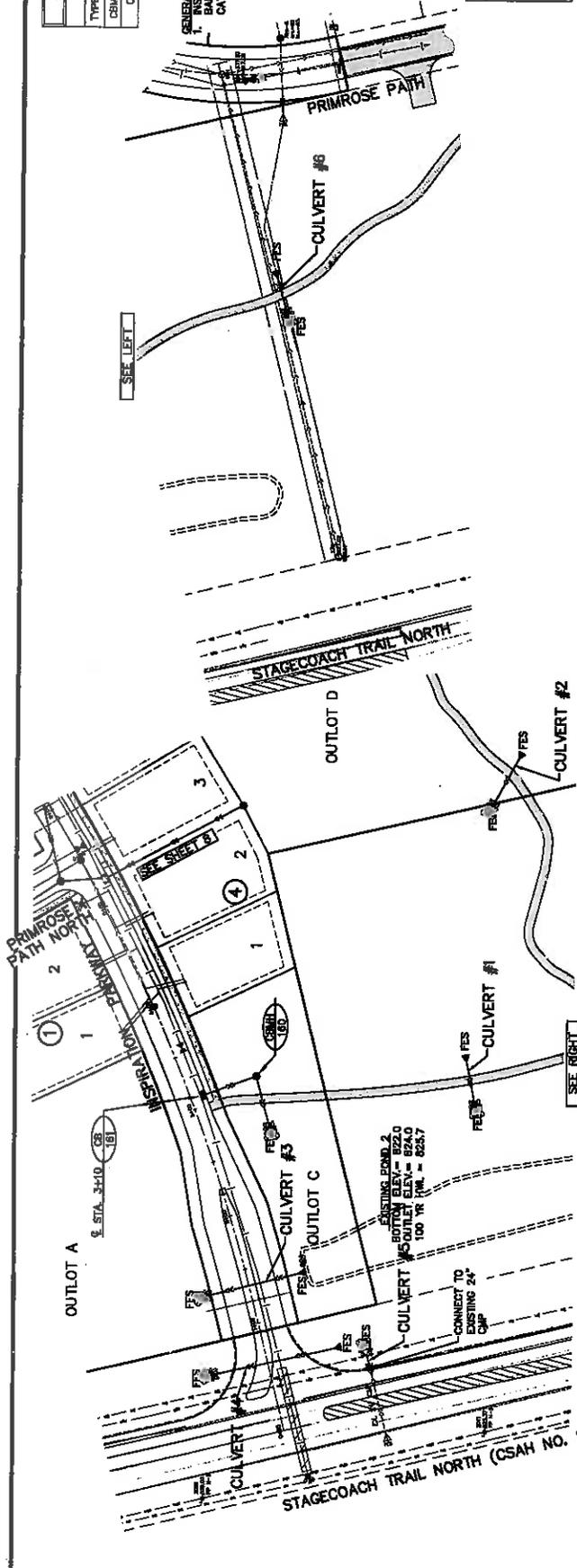
Carlson McCain
240 Pacific Drive, Suite 100
Minneapolis, MN 55425
Phone: (763) 483-7282
Fax: (763) 483-7282
www.carlsonmccain.com

STORM SEWER SCHEDULE		
STRUCTURE	MATERIAL	CASTING
TYPE & No.	SIZE	OR EQUAL
CSMH-160	24" DIA.	R-4342
CS-161	24"x36"	R-3087-V

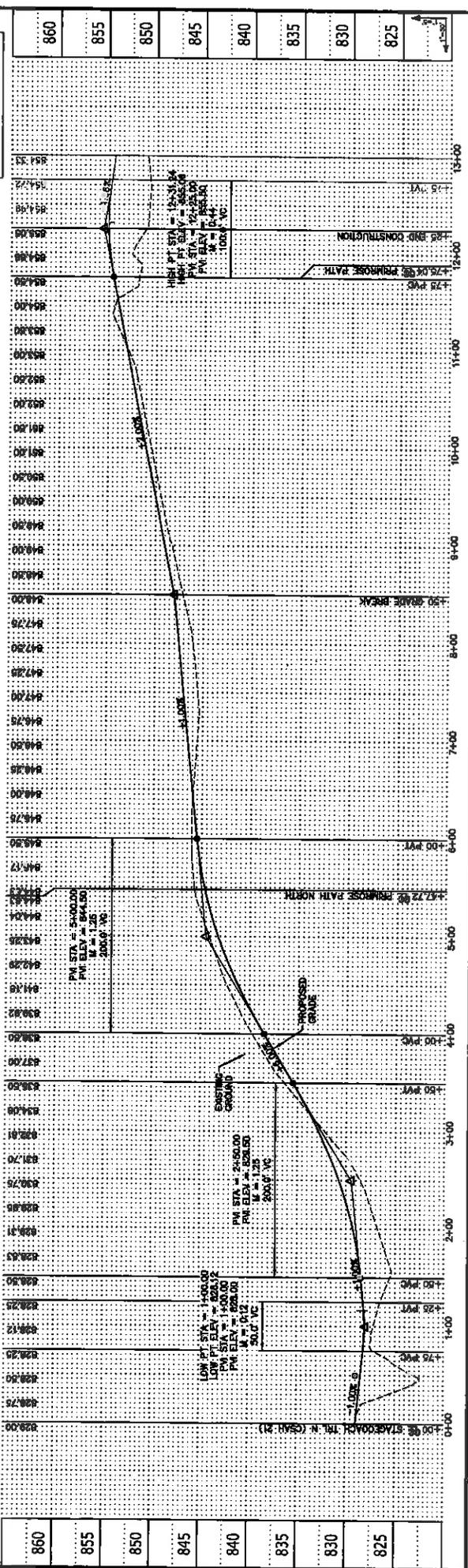
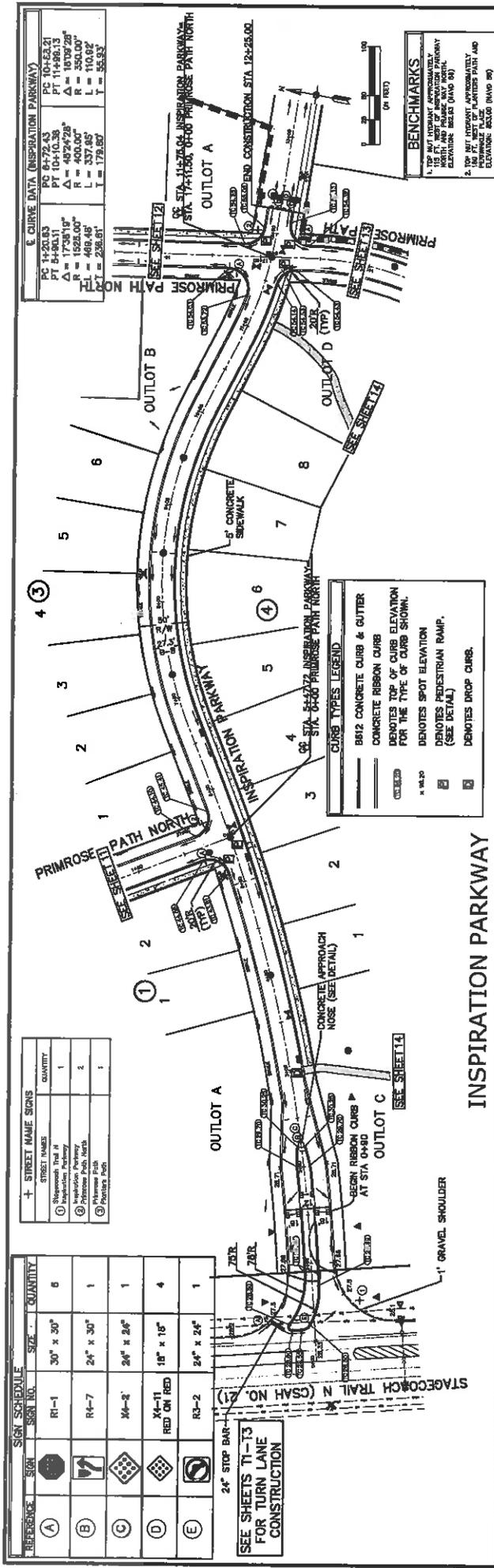
GENERAL NOTES:
 1. INSTALL SEDIMENT CONTROL BARRIER INSERTS ON ALL CATCH BASINS (SEE DETAIL).



BENCHMARKS
 1. THE BENCH MARK APPROXIMATELY INDICATES THE LOCATION OF THE BENCHMARK. BENCHMARK DATA (DATE 08)
 2. THE BENCH MARK APPROXIMATELY INDICATES THE LOCATION OF THE BENCHMARK. BENCHMARK DATA (DATE 08)



	9 of 16 STORM SEWER
	INSPIRATION 3RD ADDITION Bayport, Minnesota
MATTANY HOMES, LLC 7201 Washington Avenue - Suite 201 Edina, MN 55439	DATE: 08/23/15 DRAWN BY: J. H. H.
2400 Pacific Drive, Suite 100 Bayport, MN 55439 Phone: (763) 485-7900 Fax: (763) 485-1039 www.carlsonmccain.com	PROJECT NO.: 15-0001 SHEET NO.: 15-0001-01 DATE: 08/23/15 DRAWN BY: J. H. H.

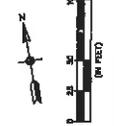


Curve Data (Primrose Path North)

PC	1492.00	PT	1492.00
PI	1492.00	PT	1492.00
Δ	90°00'00"	Δ	90°00'00"
R	254.51'	L	130.78'
L	130.78'	T	88.67'

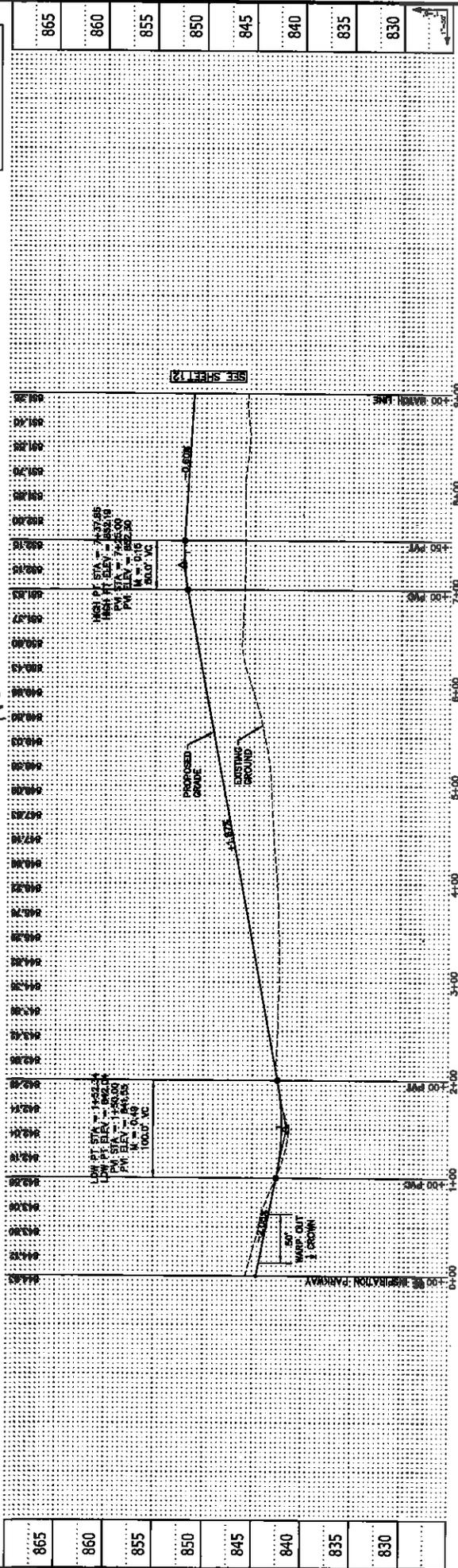
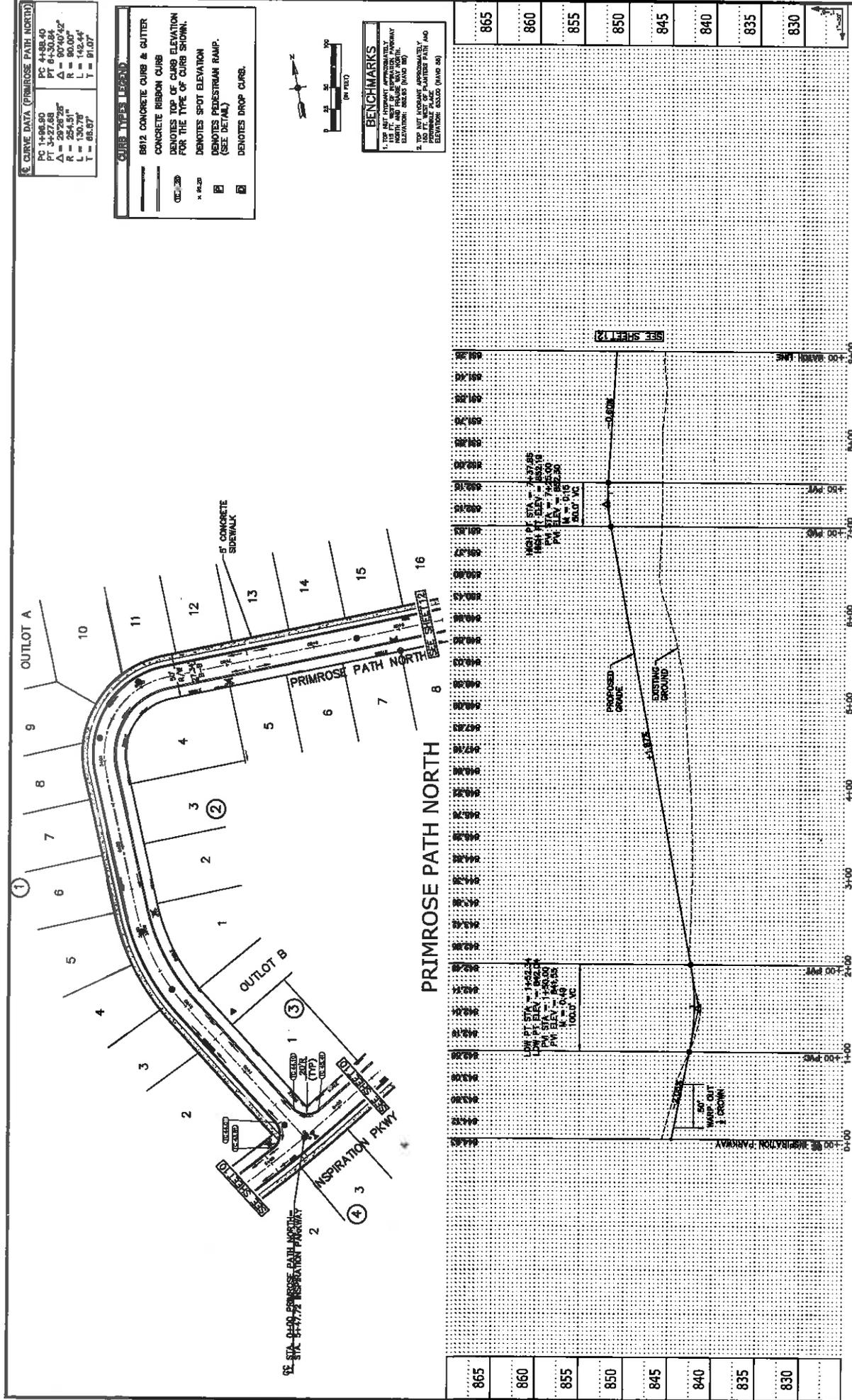
CURB TYPES LEGEND

---	8812 CONCRETE CURB & GUTTER
---	CONCRETE RIBBON CURB
---	DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
---	DENOTES SPOT ELEVATION (SEE DETAIL)
---	DENOTES PEDESTRIAN RAMP.
---	DENOTES DROP CURB.



BENCHMARKS

- FOR ANY APPROXIMATELY NORTH AND THENCE ANY NORTH. ELEVATION: 862.5 (HAND SET)
- FOR ANY APPROXIMATELY PERMANENT PLACE. QUARTER PATH AND ELEVATION: 832.0 (HAND SET)



Carlson McCann

240 Avella Drive, Suite 100
 Lincoln Park, IL 60468
 Tel: (708) 486-7350
 Fax: (708) 486-7929
 www.carlsonmccann.com

1. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

2. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

3. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

4. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

5. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

6. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

7. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

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14. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

15. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

16. I hereby certify that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.

MATTANY HOMES, LLC
 7201 Washington Avenue - Suite 201
 Edina, MN 55439

INSPIRATION 3RD ADDITION
 Bayport, Minnesota

STREET CONSTRUCTION

11 of 16

CURB TYPES LEGEND

- BR12 CONCRETE CURB & GUTTER
- CONCRETE RIBBON CURB
- DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN
- DENOTES SPOT ELEVATION (SEE DETAIL)
- DENOTES INDUSTRIAL RAMP, (SEE DETAIL)
- ◇ DENOTES DROP CURB.

§ CURVE DATA (PLANTERS PATH)

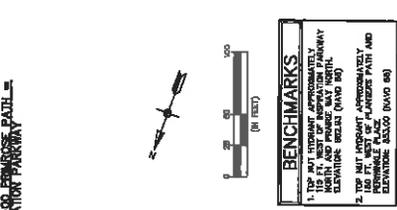
PC	04+38.01
PT	14+97.05
Δ	22°35'01"
R	400.00'
L	180.44'
T	81.31'

§ CURVE DATA (PRIMROSE PATH NORTH)

PC	14+83.45
PT	19+27.08
Δ	80°16'39"
R	80.00'
L	94.57'
T	60.33'

§ CURVE DATA (PRIMROSE PATH SOUTH)

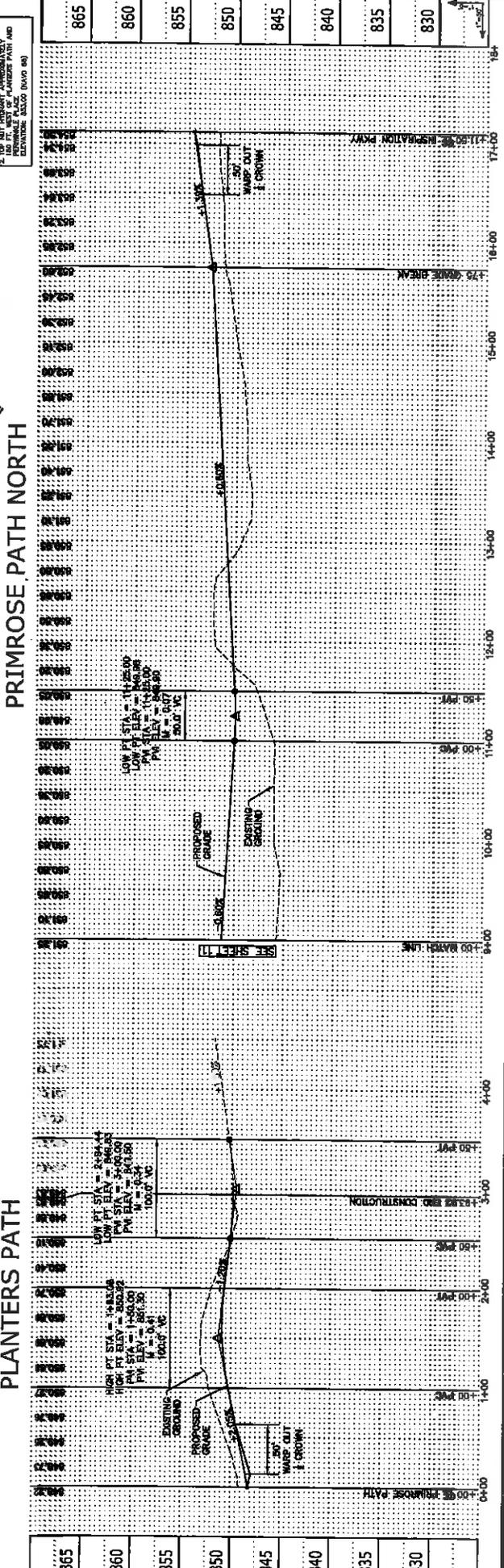
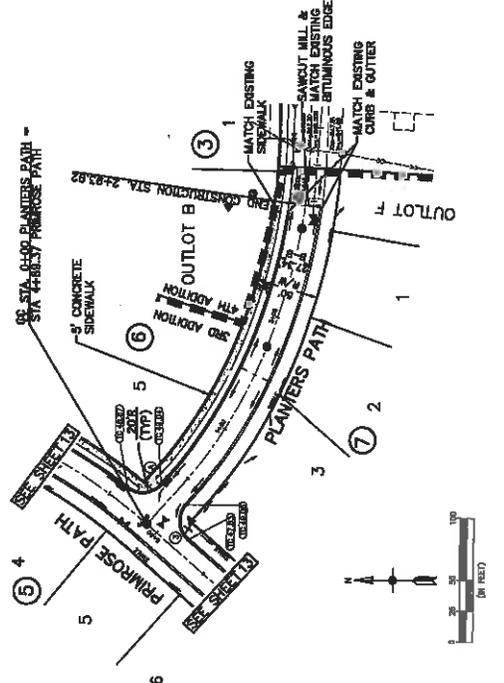
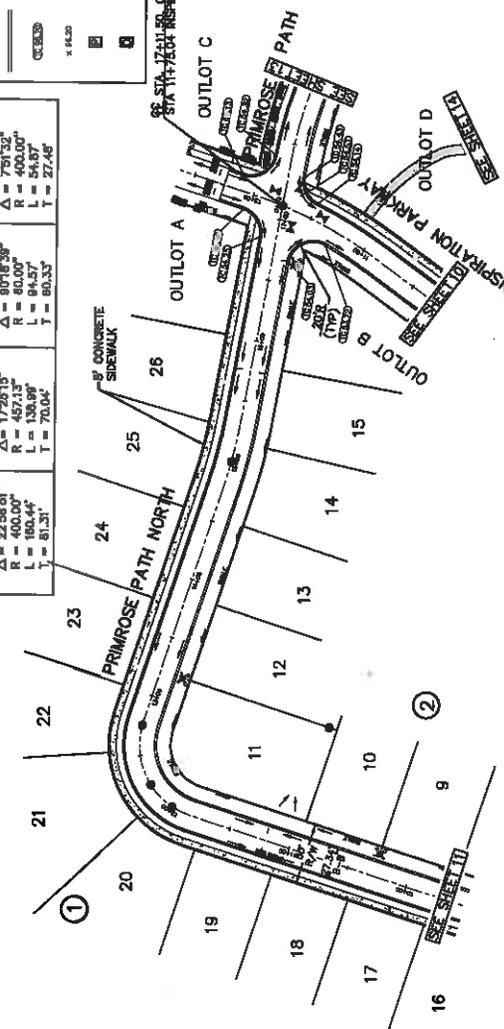
PC	14+78.99
PT	18+53.99
Δ	79°17'32"
R	400.00'
L	54.87'
T	27.45'



BENCHMARKS

1. TOP BENCHMARK APPROXIMATELY 100 FT. WEST OF PLANTERS PATH AND 100 FT. WEST OF PRIMROSE PATH AND ELEVATION 824.90 (D&W 88)

2. TOP BENCHMARK APPROXIMATELY 100 FT. WEST OF PLANTERS PATH AND 100 FT. WEST OF PRIMROSE PATH AND ELEVATION 824.90 (D&W 88)



Carlson McCain

244 Apollo Dr., Suite 100
 Princeton, MN 55970
 Phone: (763) 485-7000
 Fax: (763) 485-7100
 www.carlsonmccain.com

1. I hereby certify that this data, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Date: 05/20/21 License #: 0135511

Drawn: JSC
 Checked: JSC
 Title: 05/20/21

MATTAMY HOMES, LLC
 7201 Washington Avenue - Suite 201
 Edina, MN 55439

INSPIRATION 3RD ADDITION
 Bayport, Minnesota

STREET CONSTRUCTION

12 of 16

§ CURVE DATA (INSPIRATION PARKWAY)

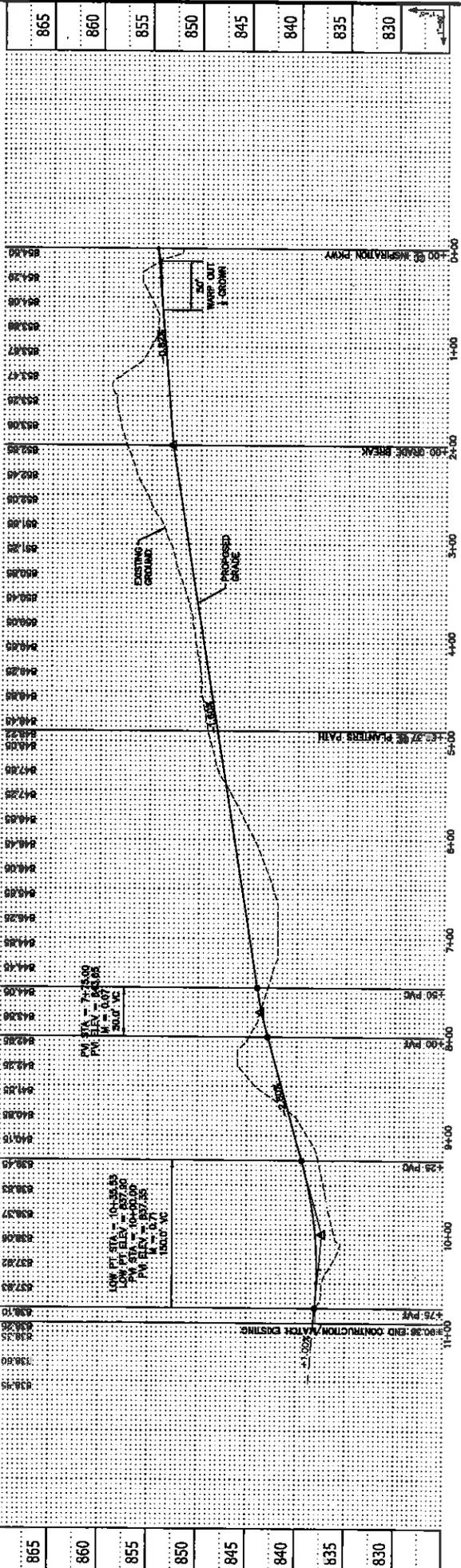
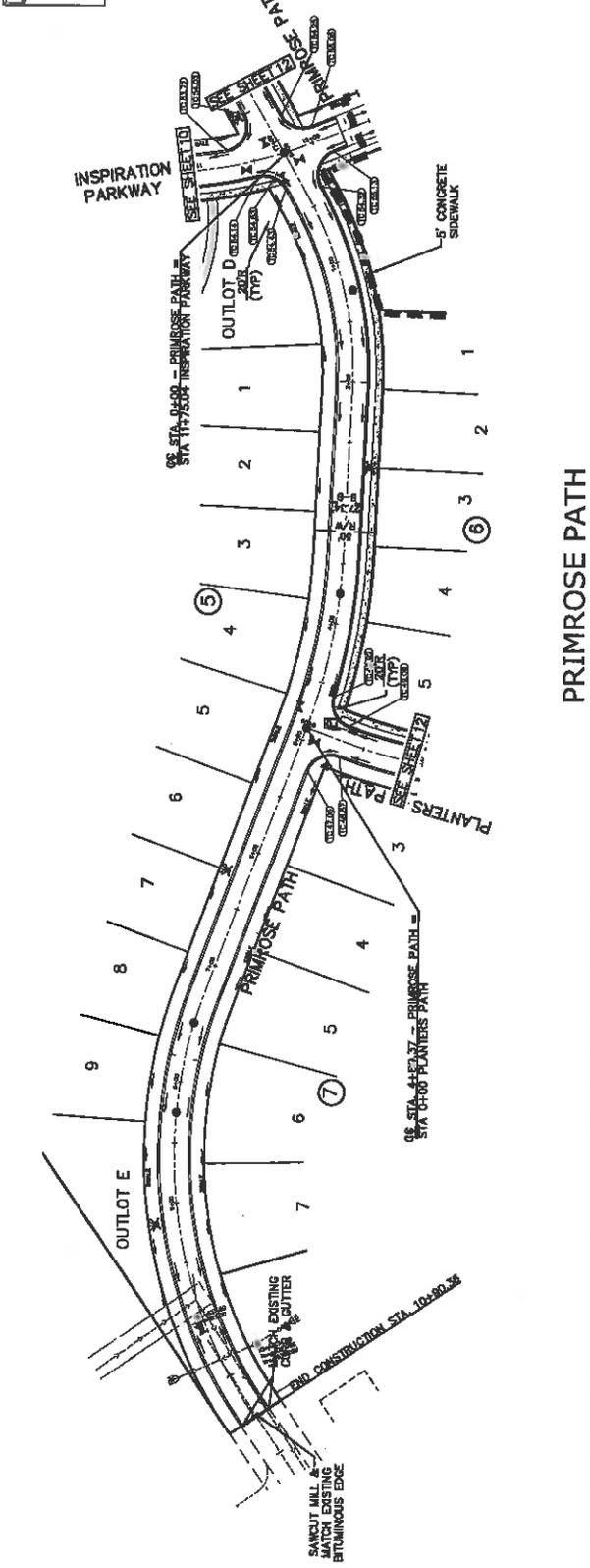
PC	3+41.00	PT	7+27.88
PT	2+04.70	PI	10+43.58
Δ	321°58'	Δ	54°20'07"
R	284.24'	R	375.00'
L	165.75'	L	355.82'
T	85.15'	T	192.46'

CURB TYPES LEGEND

—	8812 CONCRETE CURB & GUTTER
—	CONCRETE RIBBON CURB
—	DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN
—	DENOTES SPOT ELEVATION (SEE DETAIL)
—	DENOTES PEDESTRIAN RAMP
—	DENOTES DROP CURB

BENCHMARKS

1. TOP SURFACE APPROXIMATELY NORTH AND SHOWN WITH NORTH ELEVATION (BENCH MARK)
2. TOP SURFACE APPROXIMATELY NORTH AND SHOWN WITH NORTH ELEVATION (BENCH MARK)



13 of 16

STREET CONSTRUCTION

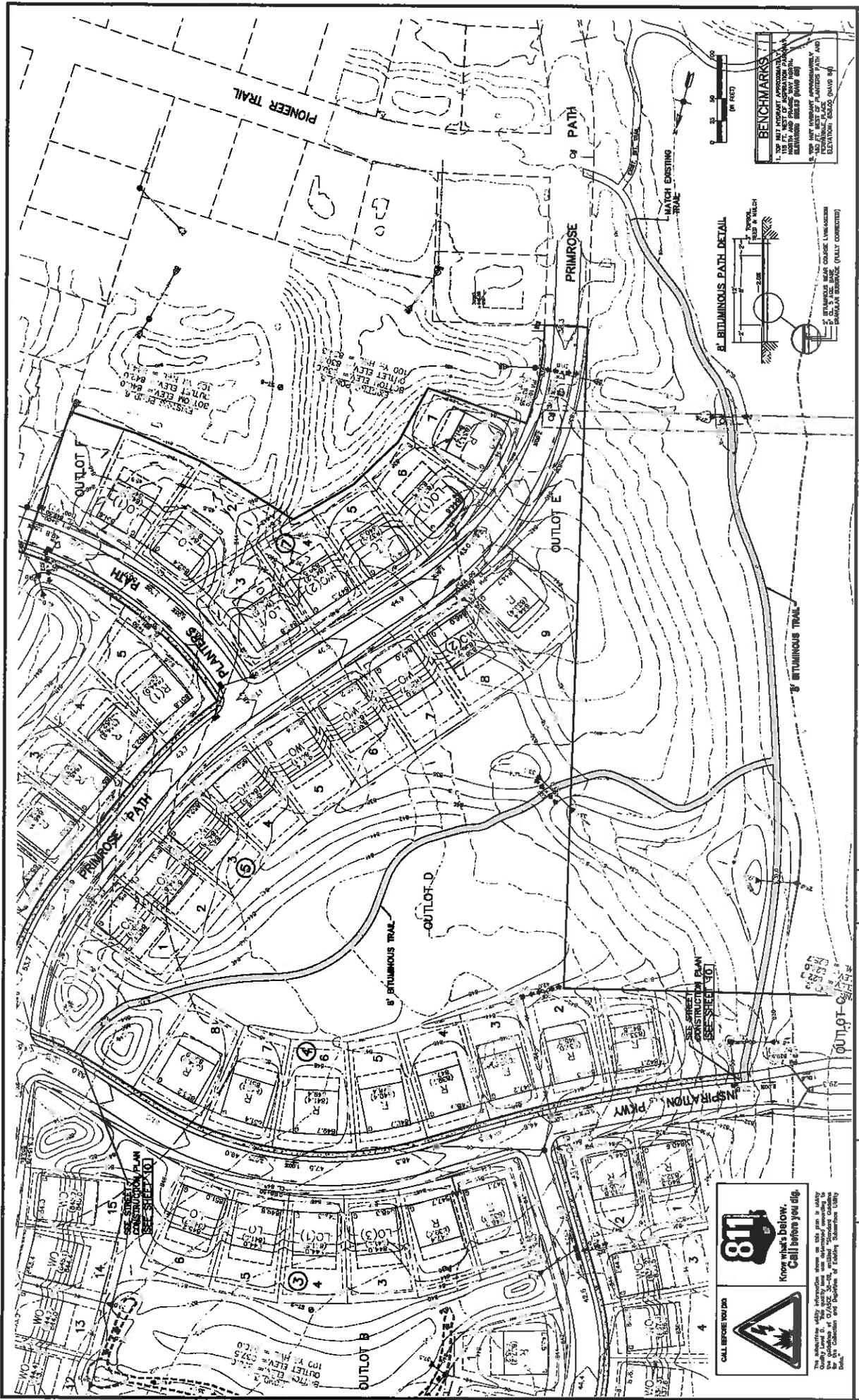
INSPIRATION 3RD ADDITION
Bayport, Minnesota

MATTAMY HOMES, LLC
7201 Washington Avenue - Suite 201
Edina, MN 55439

North: 1
Overall: 1:1
Horizontal: 1:1
Vertical: 1:1

246 6/26/2016 Date: 1:00
1:00 PM
Project: (733) 487-2500
Phone: (733) 487-7915
Fax: (733) 487-7915
Email: mattamy@carlsonmccain.com

**Carlson
McCain**
CONSULTING ENGINEERS & ARCHITECTS
10000 University Avenue, Suite 100
Edina, MN 55425



The advertising utility information shown on this plan is taken from the public utility records of the City of Bayport, Minnesota. It is not intended to be a complete record of all utilities. It is the responsibility of the contractor to verify the location and depth of existing utilities before construction.

2nd Public Drive, Suite 100
 Bayport, MN 55430
 Phone: (763) 489-7939
 Fax: (763) 489-7939
 www.carlsonmccain.com



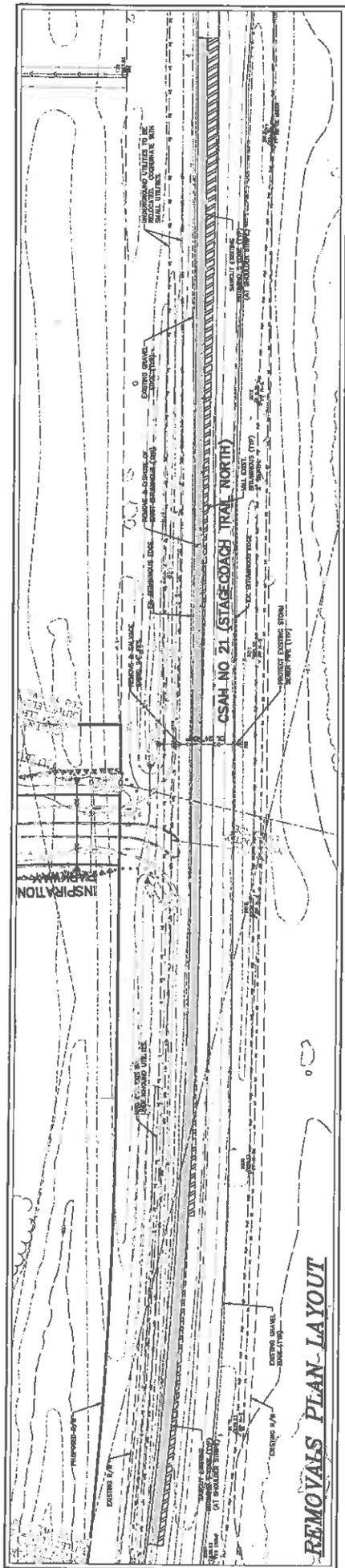
Project: INSPIRATION 3RD ADDITION
 Date: 08/20/10
 Designer: [Signature]
 Checker: [Signature]
 Engineer: [Signature]
 License No.: [Number]

MATTANY HOMES, LLC
 7201 Washington Avenue - Suite 201
 Edina, MN 55439

INSPIRATION 3RD ADDITION
 Bayport, Minnesota

TRAIL CONSTRUCTION PLAN

14 of 16



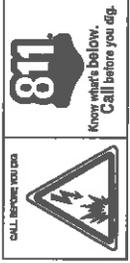
REMOVALS PLAN-LAYOUT

EXISTING	REMOVALS	MIL
PROPERTY LINE		
EASEMENT LINE		
CURB LINE		
UTILITY MARKER		
STORM SEWER		
CANAL		
OVERHEAD UTILITY		
UNDERGROUND TELEPHONE		
UNDERGROUND ELECTRIC		
STORM MANHOLE		
WALKWAY		
UTILITY POLE		
GRASS		
ROAD		
WETLAND LINE		
SPOT ELEVATION		
IRON		
WELLS		
SOL. CURB		

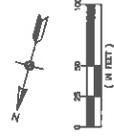
BENCHMARKS

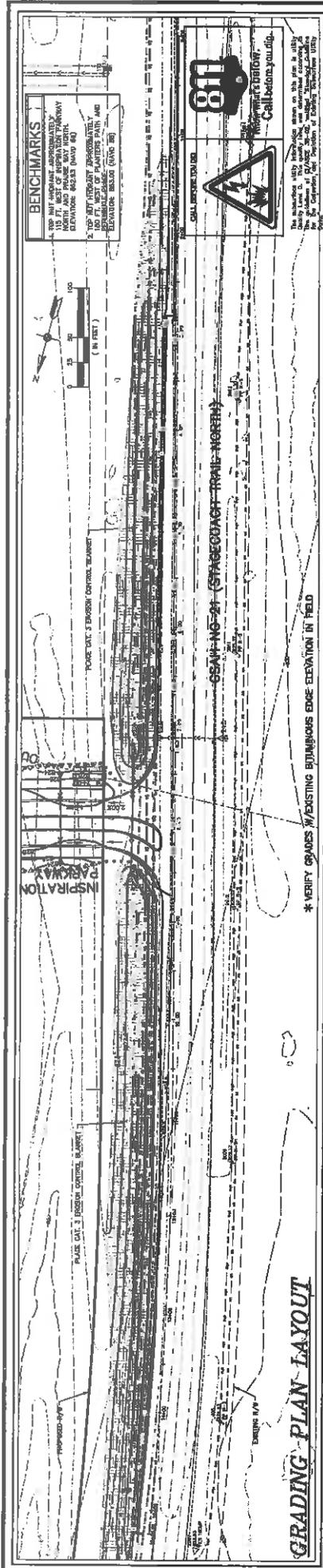
1. 100 FT. WEST OF INSPIRATION PROPERTY LINE
ELEVATION: 825.5 (MVD 10)

2. 100 FT. WEST OF PLANTERS PATH AND
ELEVATION: 825.0 (MVD 10)



The information on this plan is only for informational purposes. It is not intended to be used as a legal document. For more information, contact the City of Bayport, Minnesota, at 555-555-5555.





GRADING PLAN LAYOUT

* VERIFY GRADES W/EXISTING BENCHMARKS ELEVATION IN FIELD

835	0+00	R/W	E	R/W	R/W	1+00	R/W	R/W	R/W	2+00	R/W	R/W	3+00	R/W	R/W	4+00	R/W	R/W	5+00	R/W	835
830																					830
825																					825
820																					820
815																					815
830	6+00	R/W	E	R/W	R/W	7+00	R/W	R/W	R/W	8+00	R/W	R/W	9+00	R/W	R/W	10+00	R/W	R/W	11+00	R/W	830
825																					825
820																					820
815																					815
830	12+00	R/W	E	R/W	R/W	13+00	R/W	R/W	R/W	14+00	R/W	R/W	15+00	R/W	R/W	15+24.05	R/W	R/W	R/W	R/W	830
825																					825
820																					820
815																					815

CITY OF BAYPORT, MINNESOTA
PLANNED UNIT DEVELOPMENT PERMIT
PHASE III-B, THIRD ADDITION
INSPIRATION

Date Issued: _____, 2015

Legal Description: Outlot A, Inspiration

Property Owner/Developer: Mattamy Minneapolis LLC, a Delaware limited liability company, doing business as Mattamy Homes

Address: 7201 Washington Avenue South
Edina, Minnesota 55439

Present Zoning District: R-PUD with a base zoning classification of Single-family Urban (R-2); permitted uses as set forth in the Bayport City Code Appendix B, Section 6.

I. INSPIRATION HAS BEEN APPROVED BY THE BAYPORT CITY COUNCIL AS A PLANNED UNIT DEVELOPMENT.

A PUD permit shall be issued for each phase of development, which specifies lot requirements, setbacks and permitted uses. This permit applies specifically to 76 single-family lots and seven outlots located in Phase III-A of Inspiration, referred to as the 3rd Addition.

II. A PLANNED UNIT DEVELOPMENT PERMIT HAS BEEN GRANTED BY THE BAYPORT CITY COUNCIL SUBJECT TO THE PERMITTED USES, LOT REQUIREMENTS, AND SETBACKS AS FOLLOWS:

The following are the permitted uses, lot requirements and setbacks allowed within the R-PUD District referred to as Inspiration, specifically for a portion of Phase III-B of the development, known as the 3rd Addition. Permitted uses include those found within the Single-family Urban Zoning District (R-2) of Bayport City Code. No further changes to these permitted uses, lot requirements and setbacks will be allowed without an amendment to this permit.

(a) Purpose and scope.

The intent of the Inspiration R-PUD is to provide residential urban lots in areas where the full range of public utilities and services are available, with some flexibility from setbacks and lot sizes as otherwise required by the Single-family Urban Zoning District (R-2) of the Bayport City Code.

(b) Permitted, accessory, and conditional uses.

See the Single-family Urban Zoning District (R-2) of the Bayport City Code.

(c) **Lot requirements and setbacks.**

The following minimum requirements shall be observed for the 3rd Addition's 76 traditional single-family lots, subject to additional requirements, exceptions, and modifications as required by the Bayport City Code:

- (1) The minimum lot area: 7,668 square feet
- (2) The minimum lot frontage: 65 feet (at front yard setback)
- (3) The minimum lot depth: 125 feet
- (4) The maximum lot coverage by structures: 48 percent (48%)
- (5) The maximum height:
 - Principal structure 35 feet
 - Detached accessory building 12 feet

The City has the discretion to approve an increase in the height of a detached accessory building to a maximum of 17 feet for the purpose of matching the roof pitch or style of the principal structure. The height of a detached accessory building shall not exceed the height of the principal structure.

- (6) The minimum front yard setback: 20 feet
Detached accessory buildings/garages shall not be allowed to be closer to the front lot line than the principal structure.
- (7) The minimum rear yard setback: 20 feet
- (8) The minimum side yard setback:
 - From a side corner 20 feet
 - From an interior lot line 7.5 feet

A minimum of 15 feet shall be required between structures, regardless of whether the structure is part of the dwelling or part of an attached garage to simplify construction upon each lot and ensure a separation between buildings for rear yard access and fire safety. Therefore, if one structure is placed five feet from the side yard lot line, the adjacent structure shall be placed a minimum of 10 feet from said side yard lot line to meet the minimum 15 feet of separation.

III. THE PLANNED UNIT DEVELOPMENT PERMIT HAS BEEN GRANTED BY THE BAYPORT CITY COUNCIL SUBJECT TO RESTRICTIONS AND PROVISIONS AS FOLLOWS:

(a) **Single-family Lots.**

- (1) Any garage to be located five feet from the side yard setback must be fire proofed and reviewed and approved by the Bayport Fire Chief.
- (2) Any structure with a living space above an attached garage shall have a minimum side yard setback of 10 feet to ensure adequate separation between structures on adjacent lots. No living spaces above detached garages shall be permitted.

- (3) Housing styles, building elevations, and improvements shall comply with the Master Declaration of Covenants, Conditions, Restrictions and Easements, dated May 25, 2005, and recorded at the Washington County Recorder's Office as Document No. 3526939 on July 19, 2005, as amended by a First Amendment to Master Declaration of Covenants, Conditions, Restrictions and Easements, dated July 25, 2006, and recorded at the Washington County Recorder's Office as Document No. 3599362 on August 4, 2006.

(b) *Streets and Lighting.*

- (1) All street widths shall be 26 feet. Parking shall be allowed on one side of the street throughout the year. No overnight parking shall be permitted.
- (2) The Developer shall be responsible for all costs associated with the placement and posting of required street signage.
- (3) All street lights are to be installed by the Developer only at street intersections and trail entrances.

(c) *Sidewalks and Trails.*

- (1) A concrete sidewalk shall be installed along one side of the public streets within the 3rd Addition final plat, and shall meet the minimum five foot width requirement of the Bayport Subdivision Ordinance.
- (2) An eight-foot wide asphalt off-street trail shall be installed through Outlots C and D in the 3rd Addition final plat.

(d) *Grading, Drainage, and Utilities.*

- (1) Site grading shall comply with the Preliminary Grading, Drainage & Erosion Control Plan, dated February 13, 2015, and the Agreement and Waiver Regarding Grading of That Portion of a Preliminary Plat Referred to as Inspiration Phase III-B, dated May 20, 2015.
- (2) The Developer shall install appropriate erosion and sediment control devices to minimize impacts for the duration of the grading activity, as may be required by and subject to review and approval of the City Engineer.
- (3) All water and sanitary sewer services, fire hydrants (if any), and storm sewer outlets shall be located and installed per the City Engineer's specifications.

(e) *Landscaping.*

- (1) Landscaping shall comply with the (i) Preliminary Landscape Plan, dated February 13, 2015, (ii) Conservation Easement, dated as of May 24, 2005 and recorded in the Office of the County Recorder, Washington County, Minnesota, as Document No. 3526937, (iii) Master Declaration of Covenants, Conditions, Restrictions and Easements, dated May 25, 2005, and recorded at the Washington County Recorder's Office as Document No. 3526939 on July 19, 2005, as amended by a First Amendment to Master Declaration of Covenants,

Conditions, Restrictions and Easements, dated July 25, 2006, and recorded at the Washington County Recorder's Office as Document No. 3599362 on August 4, 2006, and (iv) all future governing documents of the Inspiration Stewardship Foundation, which has been formed primarily to preserve, protect, manage and maintain certain unimproved scenic and natural habitat land described in the Conservation Easement mentioned in clause (ii) above, as well as to accept assessments levied by the Inspiration Community Association for the aforementioned purposes.

(f) Park Dedication.

- (1) The Developer shall submit a cash park dedication fee to the City, equal to ten percent (10%) of the land value of the area encompassed by Phase III-B, which has been stipulated to be \$53,648 per acre, multiplied by 32.17 buildable acres, and finally multiplied by ten percent (10%), for a final park dedication fee of \$172,586. This amount will be apportioned equally among the 115 single-family lots within Inspiration Phase III-B, for a per-lot amount of \$1,501. There are 76 total lots within the 3rd Addition, so the final park dedication fee to be paid by the Developer as of the date of this PUD permit is \$114,076.
- (2) An additional \$1,000 per lot park dedication fee is to be charged at the time a building permit is issued for each lot within the 3rd Addition final plat.

(g) Outlots and Easements

- (1) Existing outlots and easements approved by preliminary plat for the 3rd Addition, including but not limited to (i) ten-foot wide drainage and utility easements provided along all lot lines of the 3rd Addition final plat (overlying the side lot lines five feet each side), and (ii) drainage and utility easements covering the entirety of each outlet (but not including Outlet G), in the 3rd Addition final plat, shall not be modified or impacted as part of the final plat.

(h) Developer's Agreement

- (1) The Developer shall enter into a separate Developer's Agreement with the City of Bayport for the 3rd Addition final plat.
- (2) Conditions listed within the original Developer's Agreement, dated April 4, 2005, shall also apply to the 3rd Addition, unless otherwise superseded by the Developer's Agreement mentioned in subparagraph (1).

IV. REFERENCE ATTACHMENTS

Exhibit "A" – Bayport City Council resolution approving the final plat for Inspiration 3rd Addition, dated July 6, 2015

Exhibit "B" – Final Plat for Inspiration 3rd Addition

IN WITNESS WHEREOF, the parties below and their successors or designees hereby acknowledge and agree to abide by the terms of this Planned Unit Development Permit and all conditions stated herein, executed on this _____ day of July, 2015

CITY OF BAYPORT, MINNESOTA

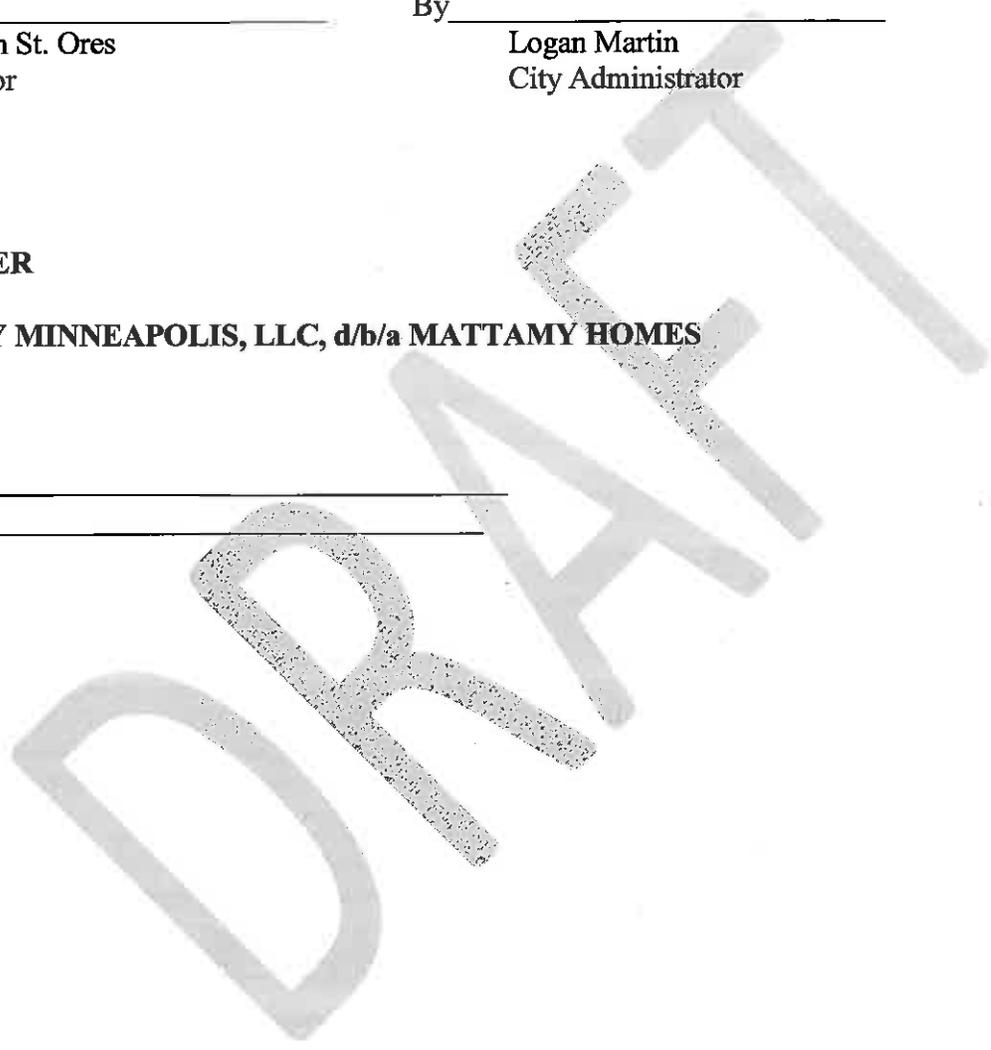
By _____
Susan St. Ores
Mayor

By _____
Logan Martin
City Administrator

DEVELOPER

MATTAMY MINNEAPOLIS, LLC, d/b/a MATTAMY HOMES

Its _____



**CITY OF BAYPORT, MINNESOTA
DEVELOPER'S AGREEMENT
(Inspiration 3rd Addition)**

THIS DEVELOPER'S AGREEMENT (Inspiration 3rd Addition) (the "Agreement") is made and entered into this ____ day of _____, 2015, by and between the **City of Bayport, Minnesota**, a municipal corporation and political subdivision under the laws of the State of Minnesota (the "City"), and **Mattamy Minneapolis LLC**, a Delaware limited liability company, doing business as **Mattamy Homes** (the "Developer").

WHEREAS, the Developer, as the owner of the Property described below, (the "Property") has made application to the City for approval of a Planned Unit Development (PUD) Permit and a final plat of land (the "Plat") within the corporate limits of the City described as follows:

Outlot A, Inspiration

WHEREAS, on April 4, 2005, the City Council of the City approved a final plat and Developer's Agreement (the "Original Developer's Agreement") with Contractor Property Developers Company (the "Prior Developer"), for the development of the entire Inspiration land area ("Inspiration"), which at that time was intended to be developed in three separate phases, for a total of 328 residential housing units and 145 acres of restored native prairie open space; and

WHEREAS, Phase I, consisting of 121 single-family lots, is substantially complete; and

WHEREAS, Phase II, intended to be 75 multi-family units, has not been completed; and

WHEREAS, Phase III, originally intended to consist of 132 single-family lots and related infrastructure, has been altered to consist of Phase III-A, consisting of 16 single-family lots located in the southeast section of Inspiration and which is substantially complete, and Phase III-B, which is the development more fully described in this Agreement located in the northwest section of Inspiration; and

WHEREAS, Phase III-A, consisting of 16 single-family lots located in the southeast section of Inspiration, is substantially complete; and

WHEREAS, the City's Comprehensive Plan, last updated in February 2012, guides the Property for a mixture of residential land uses and natural features based on the previously approved PUD general development plan and preliminary plat for Inspiration approved in October 2004; and

WHEREAS, the Property is currently zoned as a Residential-Planned Unit Development (R-PUD) District with a base zoning classification of R-2, Single Family Urban District; and

WHEREAS, a homeowner's association, known as Inspiration Community Association, a Minnesota non-profit corporation (the "Association"), has been established as the governing body for Inspiration pursuant to that certain Master Declaration of Covenants, Conditions, Restrictions and Easements, dated May 25, 2005, and recorded at the Washington County Recorder's Office as Document No. 3526939 on July 19, 2005, as amended by a First Amendment to Master Declaration

of Covenants, Conditions, Restrictions and Easements, dated July 25, 2006, and recorded at the Washington County Recorder's Office as Document No. 3599362 on August 4, 2006 (the "Declaration"); and

WHEREAS, Phase III-B is anticipated to be developed through one or more separate developer's agreements, preliminary plats, and final plats, with the first installment of Phase III-B to be known as Inspiration 3rd Addition, comprising of 76 single-family lots and seven outlots (the "3rd Addition"); and

WHEREAS, the City's Planning Commission reviewed the Preliminary Plat application and the PUD General Development Plan for the Property at a public hearing held on March 16, 2015, and unanimously recommended approval to the City Council of the City, which approval was granted by Resolution No. 15-15, adopted on May 4, 2015; and

WHEREAS, the Preliminary Plat altered the original plans to include 115 single-family lots within the entirety of Phase III-B, instead of 116 single-family lots as originally contemplated; and

WHEREAS, the Developer has applied for Final Plat approval for the portion of the Property to be known as the 3rd Addition, which application was discussed by two members of the Planning Commission on June 15, 2015, but no formal recommendation was forwarded to the City Council due to the lack of a quorum available for the Planning Commission meeting; and

WHEREAS, the City Council of the City reviewed the 3rd Addition final plat application and the PUD Permit for the Property on July 6, 2015, and approved the same, on the condition that the Developer enter into this Agreement stipulating the conditions for construction of the Inspiration 3rd Addition, all in accordance with the terms and conditions hereinafter set forth, and that the Developer obtain an executed PUD Permit.

NOW, THEREFORE, in consideration of the premises and of the mutual promises and conditions hereinafter contained, it is agreed as follows:

Minimum Improvements. Improvements for the 3rd Addition final plat (the "Minimum Improvements") are to be installed by the Developer at the Developer's expense as hereinafter provided. There are no improvements contemplated to be installed by the City as a part of this Agreement.

1. **MINIMUM IMPROVEMENTS:** The Developer will construct, at the Developer's expense, the Minimum Improvements according to the following terms and conditions:
 - A. **Site Grading.** The Developer shall do all site grading, common greenway and open spaces, storm water storage ponds, surface drainage ways and all private driveways including sodding of boulevards, all in accordance with the Preliminary Grading, Drainage & Erosion Control Plan, dated February 13, 2015 (the "Grading Plan"). The Developer shall at all times be in compliance with the Grading Plan, including the installation of maximum two (2) foot contours, pad elevations, drainage provisions, erosion control provisions and cross sections, as necessary. Any changes to the Grading

Plan during construction shall be submitted to the City for approval. Each building site must conform to the Grading Plan prior to a building permit being issued. The Grading Plan has been reviewed by the Middle St. Croix Watershed District and approved by the City Engineer.

The parties to this Agreement understand and acknowledge that, upon approval of the Preliminary Plat, the Developer requested access to the Property to grade portions of the site to allow future construction within the plat. The City approved this request pursuant to that certain "Agreement and Waiver Regarding Grading of That Portion of a Preliminary Plat Referred to as Inspiration Phase III-B," dated May 20, 2015 (the "Early Grading Agreement"). As of the date of this Agreement, the City understands and acknowledges the Developer has been undertaking all necessary activities and binding itself to all necessary obligations, including required financial security, of the Early Grading Agreement.

B. Soil Erosion. The Developer shall control soil erosion ensuring:

1. All development shall conform to the natural limitations presented by the topography and soil of the subdivision in order to create the best potential for preventing soil erosion. The Developer shall at all times be in compliance with erosion control measures as detailed in the Grading Plan.
2. Erosion and siltation control measures shall be coordinated pursuant to the Grading Plan. Appropriate control measures as required by the City Engineer shall be installed prior to construction and thereafter as may be necessary to control erosion.
3. Where the topsoil is removed, sufficient arable soil shall be set aside for respreading over the developed area. The topsoil shall be restored to a depth of at least four (4) inches and shall be of a quality at least equal to the soil quality prior to development.
4. The Developer shall not locate its equipment within any right-of-way as acquired by the City adjacent to the 3rd Addition without the express written consent of the City. The Developer may designate and have approved by the City an area to store or park vehicles and equipment during the construction of the 3rd Addition.

C. Monuments. The Developer shall place iron monuments at all lot and block corners and at all other angle points on boundary lines within the Final Plat to Phase III-B. Iron monuments shall be replaced after all street and lawn grading has been completed in order to preserve the lot markers.

D. Curb Stops. The Developer shall be responsible for maintaining the location of and protecting curb stops, water services and sewer services serving the

Property. Any service or curb stop damaged shall be repaired or replaced as specified by the City. The Developer shall make all necessary adjustments to the curb stops to bring them flush with the topsoil (after grading) or driveway surface.

- E. Landscaping Plan; Ecological Management; Open Space. The Developer shall provide landscaping and screening within the Property pursuant to (i) the Preliminary Landscape Plan, dated February 13, 2015 (the "Landscape Plan"), (ii) the Conservation Easement granted by the Prior Developer to the Minnesota Land Trust, dated as of May 24, 2005 and recorded in the Office of the County Recorder, Washington County, Minnesota, as Document No. 3526937 (the "Conservation Easement"), and (iii) the Ecological Restoration and Management Program for Inspiration, as prepared and amended by Landform Professional Services, LLC, on behalf of Bayport Mainstreet Holding, LLC, a former owner of the Property, as approved by the City Council of the City on October 1, 2012 (the "Restoration Program").

The parties to this Agreement understand and acknowledge Bayport Mainstreet Holding, LLC has assisted in the creation of the Inspiration Stewardship Foundation (the "Foundation"), the purposes of which, among other obligations, is to preserve, protect, manage and maintain certain unimproved scenic and natural habitat land described in the Conservation Easement and located on the Property, as well as to accept the Master Land Preservation Assessments levied by the Association, in order to protect and manage such scenic property. The parties further understand and acknowledge the Foundation may undertake some of the activities and responsibilities of the Developer described in this Section related to the ecological management and open space requirements of the Property. The Developer may assign its rights and obligations in relation to this Section to a third party at a later date, such assignment to be approved by the City, and such approval will not be unreasonably withheld.

The 3rd Addition final plat includes Outlots A, B, C, D, E and F to be established as permanent open space. These outlots are to be deeded to the City and preserved through the Conservation Easement. These outlots are intended to be maintained by the Foundation, consistent with the Original Developer's Agreement and the PUD Permit. The Developer shall install the plantings as shown on the Landscape Plan and complete the prairie seeding within said outlots in accordance with the Restoration Program prior to the City accepting the outlots.

- F. Streets. The Developer shall construct public streets within the 3rd Addition final plat located in a 50-foot right-of-way and a 26-foot wide street section. The grades of all streets completed within the 3rd Addition final plat shall not exceed 8% and the minimum grade shall not be less than .5%. The 3rd Addition final plat will connect to existing internal streets constructed as a part of Phase I, namely Primrose Path and Planters Path, and will allow a second neighborhood access to Stagecoach Trail at Inspiration Parkway

North. This access intersection is subject to review and approval by Washington County. The streets are to be posted "no parking" on the B612 curb side of the street to ensure adequate width for emergency vehicles at all times. All street designs, street construction and street sign plans are subject to review and approval by the City Engineer.

The Developer shall be responsible for street maintenance within the 3rd Addition final plat, including curbs, boulevards, sod and street sweeping, until the 3rd Addition final plat Minimum Improvements are complete. All access streets to the 3rd Addition final plat shall be maintained free of debris and soil until the 3rd Addition final plat Minimum Improvements are completed. Warning signs shall be placed when hazards develop in streets to prevent the public from traveling on the same and directing attention to detours. The repair of any damage done to the streets or public utilities by the Developer or any of its contractors or subcontractors shall remain the financial responsibility of the Developer. The City shall begin plowing and snow removal services after the first lift has been laid in place on the public streets within the 3rd Addition final plat. Final acceptance of the street for all purposes by the City shall not occur until the City Engineer has certified the completion thereof pursuant to City standards.

The Developer shall install all street name signs at all intersections and provide other traffic control signs within the 3rd Addition determined to be necessary by the City. The street names for the streets within the 3rd Addition shall be depicted as on the Final Plat.

- G. Park Dedication. The Developer shall dedicate a reasonable portion of Phase III-B to the public for public uses, public access, open space, trails, or other conditions as required by the City and as shown on the Final Plat. In lieu of complete land dedication, the Developer shall pay a park dedication fee as determined by this Section. As required by the Original Developer's Agreement, the Developer will be required to pay a cash park dedication fee to the City equal to ten percent (10%) of the land value of the Property. The parties hereto acknowledge and agree that the current fair market land value of the Property is \$53,648 per acre, and that the Property consists of 32.17 buildable acres, leaving a total market value for park dedication purposes of \$1,725,858. Ten percent (10%) of such total market value is \$172,586, which amount will be apportioned equally among the 115 single-family lots within Phase III-B (\$1,501 per lot x 76 total lots in the 3rd Addition final plat = \$114,076). The City acknowledges payment by the Developer of said park dedication fees as of the date of this Agreement. Furthermore, as required by the Original Developer's Agreement, an additional \$1,000 per lot park dedication fee is to be charged at the time the building permit is issued for each lot.
- H. Further Approvals and Permits; Utility Improvements. The Developer shall be responsible for securing all necessary approvals and permits from all appropriate federal, state, regional and county organizations, including any

water management organizations and other miscellaneous local jurisdictions prior to the commencement of site grading or construction within the 3rd Addition final plat, except as otherwise allowed by the Early Grading Agreement. The obtaining of necessary permits, if required, to extend sanitary sewer, storm sewer, and watermain services to the 3rd Addition final plat are all conditions precedent to the 3rd Addition proceeding. All plans and specifications related to utility improvements constructed as part of the Minimum Improvements shall be submitted to and approved by the City Engineer before construction on such improvements may begin.

- I. Street Lights. All street lights within the 3rd Addition are to be installed only at street intersections and trail entrances. All street light plans and proposed installation locations are subject to review and approval by the City Engineer.
- J. Drainage and Utility Easements. Ten-foot wide drainage and utility easements shall be provided along all lot lines of the 3rd Addition final plat (overlying the side lot lines five feet each side). Drainage and utility easements shall cover the entirety of each outlot in the 3rd Addition final plat. Such easements shall be dedicated to the City and specifically described within the 3rd Addition final plat, except Outlot G, which is reserved for future development. All easements are subject to the review and approval of the City Engineer.
- K. Warranty of Title. The Developer warrants and represents that it has the exclusive and marketable fee title to the 3rd Addition final plat and full authority to proceed with all permit applications and PUD processing. The Developer further warrants and represents that there are no liens or encumbrances against the title that are superior to this Agreement, other than the Declaration. The Developer shall produce evidence of title satisfactory to the City Attorney immediately prior to executing this Agreement.
- L. Sidewalks/Trails. The Developer shall install a five-foot wide concrete sidewalk along one side of the public streets within the 3rd Addition final plat, as shown on the construction plans. Additionally, the Developer shall install an eight-foot wide asphalt off-street trail through Outlots C and D in the 3rd Addition final plat.
- M. Future Addition(s). The 3rd Addition final plat consists of 76 single-family lots, out of 115 approved single-family lots within the Preliminary Plat for Phase III-B. Outlot G will be identified on the 3rd Addition final plat as a future phase of development for the remaining 39 single-family lots within Phase III-B. The Developer or any successors and assigns must apply for final plat approval for these remaining 39 single-family lots within Phase III-B.
- N. Lot Requirements and Setbacks. Phase III-B was approved by Preliminary Plat with unique lot requirements, sizes, and setbacks. The Developer must

at all times comply with the lot requirements and setback lengths as provided in the PUD Permit.

- O. Trunk Area Charges. All "Trunk Area Charges" shall be paid by the Developer. Trunk Area Charges are due and payable upon execution of this Agreement and are determined against the net acreage of the buildable area of the Property, which is considered to be the 3rd Addition, not including Outlot G, which is reserved for future development pursuant to Section M herein. Trunk Area Charges are as follows:

Sanitary Sewer: \$1,000 per acre times 32.17 acres = \$32,170.00

Water: \$1,200 per acre times 32.17 acres = \$38,604.00

Storm Sewer: \$1,000 per acre times 32.17 acres = \$32,170.00

Total Trunk Area Charges: \$102,944.00

2. DESCRIPTION OF MINIMUM IMPROVEMENTS ESTIMATED COST

A.	Erosion Control	\$ _____
B.	Streets and Street Protection and Repair.....	\$ _____
C.	Storm Sewer	\$ _____
D.	Sanitary Sewer and Services	\$ _____
E.	Water main and Services.....	\$ _____
F.	Street Signs	\$ _____
H.	Sidewalk Installation.....	\$ _____

TOTAL ESTIMATED CONSTRUCTION COST OF MINIMUM IMPROVEMENTS: \$ _____

ESTIMATED ENGINEERING, LEGAL AND ADMINISTRATIVE (20%): \$ _____

TOTAL ESTIMATED CONSTRUCTION COST OF MINIMUM IMPROVEMENTS: \$ _____

SECURITY REQUIREMENT (25%) \$ _____

TOTAL IMPROVEMENT FINANCIAL SECURITY REQUIREMENT \$ _____

3. **CONSTRUCTION OF MINIMUM IMPROVEMENTS:**

- A. **Construction and Warranty.** The construction, installation, materials and equipment related to the 3rd Addition final plat construction shall be in accordance with the plans and specifications approved by the City. The Developer will fully and faithfully comply with all terms and conditions of any and all construction contracts entered into by the Developer for the installation and construction of all Minimum Improvements and hereby guarantees the workmanship and materials for a period of one (1) year following the City's final acceptance of the Minimum Improvements.

It is agreed that all labor and work shall be done and performed in the best and most workmanlike manner and in strict conformance with the approved plans and specifications on file with the City. No deviations from the approved plans and specifications, unless otherwise provided for by this Agreement, will be permitted unless approved in writing by the City Engineer or a designee.

- B. **Inspection.** All of the work related to the 3rd Addition final plat construction shall be under and subject to the inspection and approval of the City and, where appropriate, any other governmental agency having jurisdiction. Inspections will include but not be limited to monitoring of construction activities, consultation with the Developer and its engineer on project status or project problems, coordination for final inspection and acceptance, project monitoring during the warranty period, and processing of request for reduction in security. The Developer shall pay for all costs incurred by the City's consulting engineer related to inspections, billed on the consulting engineer's hourly rates. Construction observation shall include part- or full-time inspection of proposed public utilities and street construction as determined by the City.

- C. **Security of Developer's Performance.** Except for the work described in the Early Grading Agreement, no work shall be commenced under this Agreement until the Developer files or causes to be filed with the City a cash deposit, certified check or Irrevocable Letter of Credit (in a form to be approved by the City Attorney) in the amount equal to the total estimated cost of the Minimum Improvements plus an additional security requirement of 25%, in the total amount of \$_____. The Irrevocable Letter of Credit, cash deposit or certified check shall be filed with the City prior to the final Plat being recorded.

If an Irrevocable Letter of Credit is filed with the City for purposes of meeting the required security, and expires prior to the Minimum Improvements being completed, it shall be renewed or replaced no later than thirty (30) days prior to its expiration, with a like Irrevocable Letter of Credit. If such Irrevocable Letter of Credit is not replaced, the City may declare the Developer in default hereunder and exercise its rights and remedies and may draw on said Irrevocable Letter of Credit for the

completion of the remaining Minimum Improvements. The Letter of Credit shall be issued by a banking institution in good standing as determined by the City and approved by the City Administrator. The City shall have the ability to draw on the Letter of Credit by overnight courier delivery to the bank or branch bank issuing the Letter of Credit.

Security posted by the Developer hereunder shall be for the exclusive use and benefit of the City. The City shall have the right to apply against said security all bills incurred with regard to the Minimum Improvements in the event of default by the Developer in performance or installation of the Minimum Improvements under the terms hereof. The City may, but is not required to, give reasonable notice to the Developer of the City's use of such security to complete the construction and installation of the Minimum Improvements in a timely manner.

- D. Reduction of Security. The Developer may request reduction of the security provided hereunder based upon prepayment or the value of the completed Minimum Improvements at the time of the requested reduction. If requested, the City will perform an evaluation of the work completed with any service charges incurred to complete such evaluation, to be paid by the Developer. The amount of reduction will be determined by the City. In no event shall the security guarantees be less than five percent (5%) of the original security guarantees provided hereunder until all of the Minimum Improvements have been approved and accepted by the City.
- E. Rejected Work; Completion Date. In case any material or labor supplied by the Developer shall be rejected by the City Engineer or his designated representative as defective or unsuitable, such rejected material shall be removed and replaced with approved material and the rejected labor shall be done anew to the specifications and approval of the City Engineer and at the sole cost and expense of the Developer.

The Developer will commence work hereunder and will have all work done and the Minimum Improvements fully completed to the satisfaction and approval of the City (except wear course on streets) on or before November 30, 2015. The City shall assist the Developer by notifying residents of the work and holding informational meetings if deemed necessary by the City.

- F. Construction Schedule. The Developer shall submit to the City a written schedule indicating the progress and order of completion of the Minimum Improvements. It is further agreed that upon receipt of written notice from the Developer of the existence of causes over which the Developer has no control which will delay the completion of the Minimum Improvements, the City Council of the City, at its discretion, may extend the completion date herein specified and that any financial security previously provided by the Developer will be extended for such time.
- G. Further Documentation. Copies of all bids, change orders, contracts,

progress payment verifications, lien waivers, suppliers, subcontractors, and other similar documentation shall be promptly forwarded from the Developer to the City. Within 30 days after the completion of the Minimum Improvements and before the security therefor is released, the Developer shall supply the City with a complete set of reproducible "as constructed" plans and an electronic file of the "as constructed" plans in an AutoCAD .DWG file or a .DXF file, all prepared in accordance with City standards.

- H. Final Inspection. Upon completion of the Minimum Improvements, the Developer and the City Engineer will make a final inspection of the work. The City Engineer shall make the final decision that all work is satisfactorily completed in accordance with this Agreement and the approved plans and specifications for the Minimum Improvements, and at such time the City Engineer shall submit a written statement attesting thereto. At such time the Developer shall submit certification that the work underlying the Minimum Improvements is free of all claims, liens and other encumbrances, as well as an "as built" cost summary of the Minimum Improvements. Additionally, all financial security previously posted by the Developer and still being maintained at time of final approval shall be released by the City to the Developer within five (5) business days. The City will also upon certification of completion by the City Engineer issue in recordable form a certification that the Developer has performed its obligations related to the Minimum Improvements under this Agreement.
- I. Future Easements. Subsequent to the execution of this Agreement, if additional easements are required to comply with the Developer's obligations under this Agreement, in the reasonable determination of the City, the parties hereto agree to cooperate in the granting and recording of such easements.

4. CASH ESCROW ACCOUNT: The City acknowledges that the Developer has previously submitted a cash escrow to the City to secure staff and consultant review of the construction of the Minimum Improvements, preparation of this Agreement, Final Plat, and PUD Permit, and other actions necessary to construction. Any unused funds from this account shall be released to the Developer concurrent with the final release of the Developer's financial securities under Section 3(H) hereof. Upon verbal or written notification from the City that the escrow amount has been exhausted for the activities described in this Section 4, the Developer shall promptly forward funds to the City to replenish the escrow in a reasonable amount specified by the City.

5. GENERAL:

- A. Binding Effect. The terms and provisions of this Agreement shall be binding upon and inure to the benefit of the heirs, representatives, successors and assigns of the parties hereto and shall be binding upon all future owners of all or any part of the 3rd Addition and shall be deemed covenants running with the land. This Agreement, at the option of the City, shall be recorded

within the land records of Washington County so as to give notice hereof to subsequent purchasers and encumbrances of all or any part of the 3rd Addition and all recording fees shall be paid by the Developer.

- B. Final Plat Approval. The City Council of the City has given final approval to the Final Plat of the Property upon execution and delivery of this Agreement and the PUD Permit and of all required documents and financial security required hereunder, subject to compliance with the City Code and the terms and provisions hereof.
- C. Incorporation by Reference. All plans, special provisions, proposals, specifications and contracts for the Minimum Improvements furnished pursuant to this Agreement shall be and are made a part of this Agreement by reference as fully as if set out herein in full. Specifically the following planning reports and engineering files and final documentation approved by the City Administrator and the City Engineer are specifically incorporated by reference herein and included herein as if originally made part of this Agreement and the staff recommendations and requirements therein are imposed as if originally set forth herein
1. Project Narrative from Mattamy Homes (undated)
 2. City Engineer memo, dated March 10, 2015
 3. Washington County memo, dated March 11, 2015
 4. Preliminary Plat approved by the City on May 4, 2015
 5. Preliminary Landscaping Plan, dated February 13, 2015
 6. Original Developer's Agreement between the City and Contractor Property Developers Company, dated April 4, 2005
 7. Conservation Easement granted to the Minnesota Land Trust, dated May 24, 2005
 8. Master Declaration of Covenants, Conditions, Restrictions and Easements, dated May 25, 2005, and recorded at the Washington County Recorder's Office as Document No. 3526939 on July 19, 2005, as amended by a First Amendment to Master Declaration of Covenants, Conditions, Restrictions and Easements, dated July 25, 2006, and recorded at the Washington County Recorder's Office as Document No. 3599362 on August 4, 2006
 9. Preliminary Grading, Drainage & Erosion Control Plan, dated February 13, 2015
 10. Ecological Restoration and Management Program, dated October 1, 2012
 11. City Council minutes, dated July 6, 2015
 12. PUD Permit for Phase III-B/3rd Addition
- D. PUD Permit. The City shall file the PUD Permit in the land records of the Washington County Recorder, with all recording fees to be paid by the Developer.

- E. Administrative and Miscellaneous Expenses. As to any and all administrative, legal or engineering costs which the Developer is expected to pay to the City, which costs may be offset against the financial security which the Developer has filed and provided to the City, the Developer shall be given the opportunity to review and comment on such costs prior to the application by the City for the payment of same.
- F. Indemnification. To the fullest extent permitted by law, the Developer shall indemnify and hold harmless the City, its agents and employees from and against any and all claims, damages, losses or expenses, including but not limited to attorney's fees, arising out of the execution of this Agreement by the City or arising out of the performance or non-performance of the obligations hereunder by the Developer.
- G. Default. In the event of default of the Developer from any or all of the terms hereof, including but not limited to the failure to complete construction of the Minimum Improvements as specified, such that the City may draw on financial securities provided by the Developer hereunder, the City may withhold the issuance of any building permits until compliance is secured.

**THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK.
SIGNATURE PAGES FOLLOW.**

IN WITNESS WHEREOF, the City of Bayport, Minnesota and Mattamy Minneapolis LLC, doing business as Mattamy Homes, have caused this Developer's Agreement to be duly executed on the date and year first above written.

CITY OF BAYPORT, MINNESOTA

Susan St. Ores
Mayor

Logan Martin
City Administrator

STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)

On this _____ day of _____, 2015, before me a Notary Public, within and for said County personally appeared Susan St. Ores and Logan Martin, to me personally known, being each by me duly sworn did say that they are respectively the Mayor and the City Administrator of the City of Bayport, Minnesota, the municipal corporation and political subdivision named in the foregoing instrument; and that said instrument was signed on behalf of said municipal corporation by authority of its City Council and said Mayor and City Administrator acknowledged said instrument to be the free act and deed of said municipal corporation.

Notary Public

RESOLUTION NO. 15-_____

**EXTRACT OF THE CITY COUNCIL MEETING MINUTES OF THE CITY OF BAYPORT,
WASHINGTON COUNTY, MINNESOTA HELD JULY 6, 2015**

Pursuant to due call and notice therefor, a regular meeting of the City Council of the City of Bayport, Minnesota was duly held at Bayport City Hall in said municipality on the 6th day of July, 2015 at 6:00 p.m.

The following members were present:

The following members were absent:

Councilmember _____ introduced the following resolution and moved its adoption:

**RESOLUTION APPROVING A FINAL PLAT FOR INSPIRATION 3rd ADDITION, CITY OF
BAYPORT, WASHINGTON COUNTY, MINNESOTA**

WHEREAS, the City's Planning Commission reviewed a Preliminary Plat application and PUD General Development Plan for Inspiration Phase III-B at a public hearing held on March 16, 2015, and unanimously recommended approval of the same to the City Council of the City, which approval was granted by Resolution No. 15-15, adopted on May 4, 2015; and

WHEREAS, the applicant/property owner of Phase III-B, Mattamy Minneapolis LLC, a Delaware limited liability company, doing business as Mattamy Homes (the "Developer") has proposed completing Phase III-B in multiple phases, with the first phase known as Inspiration 3rd Addition, located in the northern portion of the subdivision known as "Inspiration, A Conservation Development," and consisting of 76 single-family lots, six outlots to be deeded to the City and encumbered by a conservation easement in favor of the Minnesota Land Trust, and one outlot reserved for one or more future development phases; and

WHEREAS, the City has now received a request from the Developer to consider a final plat of Inspiration 3rd Addition; and

WHEREAS, two members of the Planning Commission reviewed the final plat application on June 15, 2015 and were in favor of the application, but no formal recommendation has been forwarded to the City Council due to the lack of a quorum available for the Planning Commission meeting; and

WHEREAS, as a part of its consideration of the final plat application, the City Council hereby makes the following:

FINDINGS OF FACT

- A. On or about May 18, 2015, the City received an application requesting consideration of a final plat to be known as Inspiration 3rd Addition, which includes a first phase of development of Inspiration Phase III-B, consisting of 76 single-family lots, six outlots to be deeded to the city and encumbered by a conservation easement in favor of the Minnesota Land Trust, and one outlot reserved for one or more future development phases. This land area is zoned Residential-Planned Unit Development (R-PUD), with a base zoning classification of R-2, Single Family Urban District.
- B. A preliminary plat for Phase III-B was approved by the City Council on May 4, 2015, which is a master plan this phase of development. The purpose of a final plat is to record the division of land, which delineates final property boundaries, streets and rights-of-way, and easements.
- C. To manage labor and costs associated with installing the necessary infrastructure, final plats for sizable developments are often sought in stages, as is the case with Inspiration. As such, this portion of the final plat for Phase III shall be referred to as Phase III-B. Phase III, originally intended to consist of 132

single-family lots and related infrastructure, has been altered to consist of Phase III-A, consisting of 16 single-family lots located in the southeast section of Inspiration and which is substantially complete, and Phase III-B. Phase I, consisting of 121 single-family lots, is substantially complete. Phase II, intended to consist of 75 multi-family units, has not been completed.

- D. As part of the review process for a final plat application, land use conditions and infrastructure improvements are examined, to ensure the final plat complies with preliminary plat approvals and other land use regulations. Upon review, the proposed final plat is consistent with the overall design of the approved preliminary plat, the City's Comprehensive Plan, and PUD/R-2 zoning classifications.
- E. The City Council has reviewed a Planning Report, dated June 16, 2015, submitted by The Planning Company (TPC), the City's planning consultant for this transaction. The Planning Report describes the 3rd Addition final plat in detail and contains conditions for the City Council to consider imposing upon approval of this final plat.
- F. Based on paragraphs A-E above, the City Council finds it in the best interest of the City to approve a final plat for Inspiration 3rd Addition.. All requirements and guidelines to be complied with and fulfilled by the Developer related to City consideration and approval of a final plat application found in Appendix A, Section 5 of the City Code are deemed to be complied with and fulfilled.

NOW THEREFORE BE IT RESOLVED: The City Council of the City of Bayport, Washington County, Minnesota, does hereby resolve that the Inspiration final plat application for Inspiration 3rd Addition is approved, subject to the conditions below and based on the findings of fact above:

1. The final plat for Inspiration 3rd Addition shall not constitute a modification to the provisions of the Inspiration Developer's Agreements governing Phase I or Phase III-A or the Planned Unit Development (PUD) Permits therefor. Execution of a separate developer's agreement and PUD permit specifically for the Inspiration 3rd Addition final plat will occur subsequent to final plat approval by the City. City staff and consultants are authorized and directed to enter into such developer's agreement and PUD permit, and the signatures of the Mayor and the City Administrator on such documents shall signify final City approval of the same.
2. The Developer will be responsible for complying with all conditions required by the City as part of the preliminary plat, final plat and PUD approvals, developer's agreement(s), and PUD permit(s). These conditions include but are not limited to the conditions described in the Planning Report and any additional requirements of the City Engineer, which conditions and requirements are hereby incorporated into this Resolution as if fully set forth herein.
3. This Resolution is effective as of the date of its passage.

The motion for adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon roll call being taken thereon, the following vote via voice:

Susan St. Ores –	Michele Hanson –	Patrick McGann -
Connie Carlson –	Dan Goldston –	

WHEREUPON, said Resolution was declared duly passed by the City Council, City of Bayport, Washington County, Minnesota this 6th day of July, 2015, signed by the Mayor and attested by the City Administrator.

Logan Martin, City Administrator

Susan St. Ores, Mayor

TO: Mayor St. Ores and the Bayport City Council
Logan Martin, City Administrator

FROM: Andrew Pratt, City Attorney & Bond Counsel

DATE: July 1, 2015

RE: Tax-Exempt Bond Post-Issuance Compliance Procedure and Policy

The purpose of this memorandum is to outline the basic requirements and purposes of the “Post-Issuance Compliance Procedure and Policy for Tax-Exempt Governmental Bonds,” (the “Policy”) which is a policy to be adopted by the Bayport City Council and implemented for all future tax-exempt bond issues of the City. As you know, the City just sold general obligation bonds to finance a portion of the construction of the new Fire Hall facility, so this discussion is timely.

Generally, legal review of a tax-exempt bond issue consists of two separate analyses: state law and federal tax regulations. State law typically deals with legal authorization for a bond issue, such as whether a bond is subject to voter referendum, or whether it impacts a municipality’s debt limit. In contrast, federal regulations are concerned with the tax-exempt status of a bond. The federal government essentially subsidizes municipal projects when it does not tax the interest on bonds issued to finance the projects. Bond investors therefore enjoy tax-free interest income when they buy tax-exempt bonds. In exchange for this subsidy, the federal government places two large requirements on tax-exempt bond issuers: (i) the bonds must finance public projects; and (ii) bond proceeds cannot be invested at a higher return than the interest rate on the bonds (known as arbitrage).

One of the closing documents present in every tax-exempt bond issue is a “Form 8038-G, Information Return for Tax Exempt Governmental Obligations.” The Form 8038-G is a document that reports the particulars of a bond issue to the Internal Revenue Service. In recent years, the IRS and other federal agencies have become more active with tracking and auditing outstanding bond issues. In that spirit, Form 8038-G was revised in September 2011 to add the following questions: (i) “If the issuer has established written procedures to ensure that all nonqualified bonds of this issue are remediated according to the requirements under the Code and Regulations;” and (ii) “If the issuer has established written procedures to monitor the requirements of section 148.” The first question deals with whether bond proceeds finance public projects, and the second question relates to the investment of bond proceeds at a rate higher than the interest rate on the associated bonds (i.e. arbitrage). The City is to answer these questions by checking the appropriate boxes. Bond counsels and municipal advisors have assisted municipalities in this endeavor by drafting various procedures and policies, such as the Policy.

The Policy was drafted with these requirements in mind. The general informational matters and requirements covered in the Policy are as follows:

- The Policy names the relevant parties who are responsible for monitoring the use and investment of bond proceeds: the City Administrator, Bond Counsel, the Municipal Advisor, the Paying Agent, and the Rebate Analyst. It is important that all parties are consulted whenever there is a potential federal tax liability with a governmental bond issue. (Section 2).
- The Policy lists various post-issuance compliance actions that must be undertaken with respect to each tax-exempt bond issue, as follows (Section 3):
 - A Bond Transcript must be prepared;
 - A Form 8038-G must be filed;
 - A “tax certificate” must be prepared, detailing how bond proceeds are to be spent;
 - Bond proceeds must be monitored for yield restriction of investments (i.e. return rates on investments must not exceed interest rates on bonds); and
 - A calculation must be made to determine whether investments from bond proceeds must be rebated to the federal government (i.e. investment amounts exceeding interest rate on bonds must be paid back to the federal government).
- The Policy lays out various procedures for monitoring and verifying the expenditure of bond proceeds for a given tax-exempt bond issue, such as (i) ensuring that investments are not made that exceed the interest rate on the bonds, (ii) paying back any investment returns that do exceed the interest rate on the bonds to the federal government, (iii) monitoring the use of bond-financed facilities to ensure they are not privately used, or privately financed, and (iv) annually reviewing the books and records of each bond issue. (Section 4).
- To adequately monitor the use and investment of bond proceeds, numerous records must be kept. The Policy lists the records that are relevant to each bond issue, and establishes that the records will be kept for the life of the bond issue (including any subsequent refunding bond issues) plus three years. (Section 5).
- The Policy’s requirements mirror what is found in the federal tax regulations, which are cited in the Policy. If it is discovered that bond proceeds are being used to finance private purposes, the City will need to work with Bond Counsel to remediate the private purposes (i.e. payoff the bond issue), usually within 90 days of discovery. (Section 6).
- The Policy contains sections related to other routine items to be completed for each bond issue, such as continuing disclosure obligations, and it describes special compliance procedures for taxable bonds, qualified tax credit bonds, and qualified 501(c)(3) bonds (i.e. conduit financing). To my understanding, the City has only issued tax-exempt bonds, but this Policy would be operative for other types of bond issues as well. (Sections 7, 9, 10 and 11).
- Finally, there may be bond issues in the future that require changes to be made to this Policy. The Policy provides that the City Administrator, as the “Compliance Officer,” may

institute such changes, or may recommend that this Policy be amended accordingly. (Section 8). **It is intended that this Policy will apply to all currently outstanding and future tax-exempt bond issues of the City.**

Essentially, the idea behind the Policy is that work on a given bond issue does not end at the closing. Often years pass, and the parties are required to re-examine a bond issue to ensure that all regulations have been followed. The Policy is intended to be used as a road map for those future discussions, if they are required. Please contact me (651.351.2125; apratt@eckbergglammers.com) if you have any questions regarding this memorandum.

City of Bayport, Minnesota

**POST-ISSUANCE COMPLIANCE PROCEDURE AND POLICY FOR
TAX-EXEMPT GOVERNMENTAL BONDS**

Adopted: July 6, 2015

Post-Issuance Compliance Procedure and Policy for Tax-Exempt Governmental Bonds

The City of Bayport, Minnesota (the "Issuer") issues tax-exempt governmental bonds from time to time to finance various authorized capital improvements. As an issuer of tax-exempt governmental bonds, the Issuer is required by the terms of Sections 103 and 141 through 150 of the Internal Revenue Code of 1986, as amended (the "Code"), and the U.S. Treasury Regulations promulgated thereunder (the "Treasury Regulations"), to take certain actions subsequent to the issuance of such bonds to ensure the continuing tax-exempt status of such bonds. In addition, Section 6001 of the Code and Section 1.6001-1(a) of the Treasury Regulations impose record retention requirements on the Issuer with respect to its tax-exempt governmental bonds. This Post-Issuance Compliance Procedure and Policy for Tax-Exempt Governmental Bonds (the "Policy") has been approved and adopted by the governing body of the Issuer to ensure that the Issuer complies with its post-issuance compliance obligations under applicable provisions of the Code and Treasury Regulations. This Policy additionally serves as a written procedure (i) to ensure that all nonqualified bonds of an issue are remediated according to the requirements under the Code and applicable Treasury Regulations, and (ii) to monitor the requirements of Section 148 of the Code.

1. Effective Date and Term. The effective date of this Policy is the date of approval by the City Council of the Issuer, and this Policy shall remain in effect until supplemented, superseded or terminated by action of the City Council of the Issuer.

2. Responsible Parties. The City Administrator shall be the party primarily responsible for ensuring that the Issuer successfully carries out its post-issuance compliance requirements under applicable provisions of the Code and Treasury Regulations with regard to all tax-exempt governmental obligations of the Issuer. The City Administrator is referred to as the "Compliance Officer" for purposes of this Policy. The Compliance Officer shall be assisted by other Issuer staff and officials when appropriate. The Compliance Officer will also be assisted in carrying out post-issuance compliance requirements by the following entities:

(a) Bond Counsel (as of the date of approval of this Policy, bond counsel for the Issuer is Eckberg, Lammers, Briggs, Wolff & Vierling, P.L.L.P.);

(b) Municipal Advisor (as of the date of approval of this Policy, the municipal advisor of the Issuer is Springsted Incorporated);

(c) Paying Agent (as of the date of approval of this Policy, the paying agent of the Issuer is U.S. Bank National Association); and

(d) Rebate Analyst (the organization primarily responsible for providing rebate analyst services for the Issuer).

The Compliance Officer shall be responsible for assigning post-issuance compliance responsibilities to other Issuer staff, Bond Counsel, the Municipal Advisor, the Paying Agent, and the Rebate Analyst. The Compliance Officer shall utilize such other professional service organizations as are necessary to ensure compliance with the post-issuance compliance requirements of the Issuer. The

Compliance Officer shall provide training and educational resources to Issuer staff responsible for ensuring compliance with any portion of the post-issuance compliance requirements of this Policy.

3. Post-Issuance Compliance Actions. The Compliance Officer shall take the following post-issuance compliance actions or shall verify that the following post-issuance compliance actions have been taken on behalf of the Issuer with respect to each issue of tax-exempt governmental bonds issued by the Issuer:

(a) The Compliance Officer shall supervise the preparation of a transcript of principal documents (this action will be the primary responsibilities of the Municipal Advisor and Bond Counsel).

(b) The Compliance Officer shall file with the Internal Revenue Service (the "IRS"), within the time limit imposed by Section 149(e) of the Code and applicable Treasury Regulations, an *Information Return for Tax-Exempt Governmental Obligations, Form 8038-G* or an *Information Return for Small Tax-Exempt Governmental Bond Issues, Leases, and Installment Sales, Form 8038-GC*, or a separate reporting form covering subsequently authorized tax credit or other types of obligations, as the case may be (this action will be the primary responsibility of Bond Counsel).

(c) If not otherwise provided for in a "tax certificate" given pursuant to the requirements of Treasury Regulations, Section 1.148-2(b)(2), the Compliance Officer shall prepare an "allocation memorandum" for each issue of tax-exempt governmental bonds in accordance with the provisions of Treasury Regulations, Section 1.148-6(d)(1), that accounts for the allocation of the proceeds of the tax-exempt bonds to project expenditures not later than the earlier of:

(i) Eighteen (18) months after the later of (A) the date the expenditure is paid, or (B) the date the project, if any, that is financed by the tax-exempt bond issue is placed in service; or

(ii) The date sixty (60) days after the earlier of (A) the fifth anniversary of the issue date of the tax-exempt bond issue, or (B) the retirement of the tax-exempt bond issue.

Preparation of the allocation memorandum will be the primary responsibility of the Compliance Officer, in consultation with Bond Counsel and the Municipal Advisor. If the project(s) to be financed with the proceeds of an issue of tax-exempt governmental bonds is additionally financed with multiple sources of funds, the Compliance Officer, in consultation with Bond Counsel, shall adopt an accounting methodology that maintains each source of financing separately and monitors the actual expenditure of proceeds of the tax-exempt governmental bonds.

(d) The Compliance Officer, in consultation with Bond Counsel, the Municipal Advisor, and the Rebate Analyst, shall identify proceeds of tax-exempt governmental bonds that must be yield-restricted and shall monitor the investments of any yield-restricted funds to ensure that the yield on such investments does not exceed the yield to which such investments are restricted.

(e) In consultation with Bond Counsel, the Municipal Advisor, and the Rebate Analyst, the Compliance Officer shall determine whether the Issuer is subject to the rebate requirements of Section 148(f) of the Code and related Treasury Regulations with respect to each issue of tax-exempt governmental bonds. In consultation with Bond Counsel and the Municipal Advisor, the Compliance Officer shall determine, with respect to each issue of tax-exempt governmental bonds of the Issuer, whether the Issuer is eligible for any of the temporary periods for unrestricted investments and is eligible for any of the spending exceptions to the rebate requirements. The Compliance Officer shall contact the

Rebate Analyst (and, if appropriate, Bond Counsel) prior to the fifth anniversary of the date of issuance of each issue of tax-exempt governmental bonds of the Issuer and each fifth anniversary thereafter to arrange for calculations of the rebate requirements with respect to such tax-exempt governmental bonds. If a rebate payment is required to be paid by the Issuer, the Compliance Officer shall prepare or cause to be prepared the *Arbitrage Rebate, Yield Reduction and Penalty in Lieu of Arbitrage Rebate, Form 8038-T*, and submit such Form 8038-T to the IRS with the required rebate payment. If the Issuer is authorized to recover a rebate payment previously paid, the Compliance Officer shall prepare or cause to be prepared the *Request for Recovery of Overpayments Under Arbitrage Rebate Provisions, Form 8038-R*, with respect to such rebate recovery, and submit such Form 8038-R to the IRS.

4. Procedures for Monitoring, Verification, and Inspections. The Compliance Officer shall institute such procedures as the Compliance Officer shall deem necessary and appropriate to monitor the use of the proceeds of tax-exempt governmental bonds issued by the Issuer, to verify that certain post-issuance compliance actions have been taken by the Issuer, and to provide for the inspection of the facilities financed with the proceeds of such bonds. At a minimum, the Compliance Officer shall establish the following procedures:

(a) The Compliance Officer shall monitor the use of the proceeds of tax-exempt governmental bonds to: (i) ensure compliance with the expenditure and investment requirements under the temporary period provisions set forth in Treasury Regulations, Section 1.148-2(e); (ii) ensure compliance with the safe harbor restrictions on the acquisition of investments set forth in Treasury Regulations, Section 1.148-5(d); (iii) ensure that the investments of any yield-restricted funds do not exceed the yield to which such investments are restricted; and (iv) determine whether there has been compliance with the spend-down requirements under the spending exceptions to the rebate requirements set forth in Treasury Regulations, Section 1.148-7.

(b) The Compliance Officer shall monitor the use of all bond-financed facilities in order to: (i) determine whether private business uses of bond-financed facilities have exceeded the *de minimis* limits set forth in Section 141(b) of the Code (generally 10% of bond proceeds) as a result of leases and subleases, licenses, management contracts, research contracts, output contracts, naming rights agreements or other arrangements that provide special legal entitlements to nongovernmental persons; and (ii) determine whether private security or payments that exceed the *de minimis* limits set forth in Section 141(b) of the Code (generally 10% of bond proceeds) have been provided by nongovernmental persons with respect to such bond-financed facilities. The Compliance Officer shall provide training and educational resources to any Issuer staff who have the primary responsibility for the operation, maintenance, or inspection of bond-financed facilities with regard to the limitations on private business use and on private security or payments with respect to bond-financed facilities. The Compliance Officer shall strive to identify in advance any potential transaction that may affect the private use and private security or payment status of bond-finance facilities. If the Compliance Officer identifies potential private use or private security or payments relating to facilities financed with tax-exempt governmental bonds, the Compliance Officer will consult with Bond Counsel to determine whether such private use will adversely affect the tax-exempt status of the governmental bond issue and if so, what remedial action is appropriate.

(c) The Compliance Officer shall undertake the following with respect to each outstanding issue of tax-exempt governmental bonds of the issuer: (i) an annual review of the books and records maintained by the Issuer with respect to such bonds; and (ii) an annual physical inspection of the facilities financed with the proceeds of such bonds, conducted by the Compliance Officer with the assistance of

any Issuer staff who have the primary responsibility for the operation, maintenance, or inspection of such bond-financed facilities.

(d) If the Issuer issues “qualified tax-exempt obligations” in any year, pursuant to Section 265(b)(3) of the Code, the Compliance Officer shall monitor all tax-exempt financings (including lease purchase arrangements and other similar financing arrangements and conduit financings on behalf of Section 501(c)(3) organizations) to assure the \$10 million “small issuer” limit is not exceeded.

5. Record Retention Requirements. The Compliance Officer shall collect and retain the following records with respect to each issue of tax-exempt governmental bonds of the Issuer and with respect to the facilities financed with the proceeds of such bonds: (i) audited financial statements of the Issuer; (ii) appraisals, demand surveys, or feasibility studies, if any, with respect to the facilities to be financed with the proceeds of such bonds; (iii) publications, brochures, and newspaper articles, if any, related to the bond financing; (iv) trustee or paying agent statements; (v) records of all investments and the gains (or losses) from such investments; (vi) paying agent or trustee statements regarding investments and investment earnings; (vii) reimbursement resolutions, if any, and expenditures reimbursed with the proceeds of such bonds; (viii) allocations of proceeds to expenditures (including bond costs of issuance) and the dates and amounts of such expenditures (including any requisitions, draw schedules, draw requests, invoices, bills, and cancelled checks with respect to such expenditures); (ix) contracts entered into for the construction, renovation, or purchase of bond-financed facilities; (x) an asset list or schedule of all bond-financed depreciable property and any depreciation schedules with respect to such assets or property; (xi) records of the purchases and sales of bond-financed assets; (xii) private business uses of bond-financed facilities that arise subsequent to the date of issue through leases and subleases, licenses, management contracts, research contracts, output contracts, naming rights agreements, or other arrangements that provide special legal entitlements to nongovernmental persons and copies of any such agreements or instruments; (xiii) arbitrage rebate reports and records of rebate and yield reduction payments, if any; (xiv) resolutions or other actions, if any, taken by the governing body of the Issuer subsequent to the date of issue with respect to such bonds; (xv) formal elections authorized by the Code or Treasury Regulations that are taken with respect to such bonds; (xvi) relevant correspondence relating to such bonds; (xvii) documents related to guaranteed investment contracts or certificates of deposit, credit enhancement transactions, and financial derivatives entered into subsequent to the date of issue; (xviii) copies of any and all Form 8038-Ts and Form 8038-Rs filed with the IRS; and (xix) the transcript prepared with respect to such tax-exempt governmental bonds.

The records collected by the Issuer shall be stored in any format deemed appropriate by the Compliance Officer and shall be retained for a period equal to the life of the tax-exempt governmental bonds with respect to which the records are collected (which shall include the life of any bonds issued to refund any portion of such tax-exempt governmental bonds or to refund any refunding bonds) plus three (3) years.

6. Remedies. In consultation with Bond Counsel, the Compliance Officer shall become acquainted with the remedial actions under Treasury Regulations, Section 1.141-12, to be utilized in the event that private business use of bond-financed facilities exceeds the *de minimis* limits under Section 141(b)(1) of the Code. In consultation with Bond Counsel, the Compliance Officer shall become acquainted with the Tax Exempt Bonds Voluntary Closing Agreement Program, described in Notice 2008-31, 2008-11 I.R.B. 592, to be utilized as a means for the Issuer to correct any post-issuance infractions of the Code and Treasury Regulations with respect to outstanding tax-exempt bonds. The Compliance Officer will additionally identify and consult with Bond Counsel regarding any post-issuance

change to any terms of an issue of outstanding tax-exempt governmental bonds that could potentially be treated as a "reissuance" of such bonds for federal tax purposes.

7. Continuing Disclosure Obligations. In addition to its post-issuance compliance requirements under applicable provisions of the Code and Treasury Regulations, the Issuer has agreed to provide continuing disclosure, such as annual audited financial statements and material event notices, pursuant to a continuing disclosure certificate or similar document (the "Continuing Disclosure Document") prepared by Bond Counsel and made a part of the transcript with respect to each issue of bonds of the Issuer that is subject to such continuing disclosure requirements. The Continuing Disclosure Document is executed by the Issuer to assist the underwriters of the Issuer's bonds in meeting their obligations under Securities and Exchange Commission Regulation, 17 C.F.R. Section 240.15c2-12, as in effect and interpreted from time to time ("Rule 15c2-12"). The continuing disclosure obligations of the Issuer are governed by each Continuing Disclosure Document and by the terms of Rule 15c2-12. The Compliance Officer is primarily responsible for undertaking such continuing disclosure obligations and to monitor compliance with such obligations.

8. Other Post-Issuance Actions. If, in consultation with Bond Counsel, the Municipal Advisor, the Paying Agent, the Rebate Analyst, or the City Council of the Issuer, the Compliance Officer determines that any additional action not identified in this Policy must be taken by the Compliance Officer to ensure the continuing tax-exempt status of any issue of governmental bonds of the Issuer, the Compliance Officer shall take such action if the Compliance Officer has the authority to do so. If, after consultation with Bond Counsel, the Municipal Advisor, the Paying Agent, the Rebate Analyst, the or the City Council of the Issuer, the Compliance Officer determines that this Policy must be amended or supplemented to ensure the continuing tax-exempt status of any issue of governmental bonds of the issuer, the Compliance Officer shall recommend to the City Council of the Issuer that this Policy be so amended or supplemented.

9. Taxable Governmental Bonds. Most of the provisions of this Policy, other than the provisions of Section 7 hereof, are not applicable to governmental bonds the interest on which is includable in gross income for federal income tax purposes (i.e. "taxable governmental bonds"). If an issue of taxable governmental bonds is later refunded with the proceeds of an issue of tax-exempt governmental bonds, then the uses of the proceeds of the taxable governmental bonds and the uses of the facilities financed with the proceeds of the taxable governmental bonds will be relevant to the tax-exempt status of the refunding bonds. Therefore, if there is any reasonable possibility that an issue of taxable governmental bonds may be refunded, in whole or in part, with the proceeds of an issue of tax-exempt governmental bonds then, for purposes of this Policy, the Compliance Officer shall treat the issue of taxable governmental bonds as if such issue were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of this Policy with respect to such taxable governmental bonds. The Compliance Officer shall seek the advice of Bond Counsel as to whether there is any reasonable possibility of issuing tax-exempt governmental bonds to refund an issue of taxable governmental bonds.

10. Qualified Tax Credit Bonds. Section 54A of the Code authorizes the issuance of certain "Qualified Tax Credit Bonds" under certain circumstances. "Qualified Tax Credit Bonds," as of the effective date of this Policy, means a qualified forestry conservation bond, a new clean renewable energy bond, a qualified energy conservation bond, a qualified zone academy bond, or a qualified school construction bond. Section 6431(f) of the Code allows for the direct payment of a portion of the interest on Qualified Tax Credit Bonds (except for qualified forest conservation bonds) to be made to the bond issuer from the United States Department of the Treasury. All of the Available Project Proceeds (as

defined in Section 54A(e)(4) of the Code) of a Qualified Tax Credit Bond are to be used for the purposes required for each respective Qualified Tax Credit Bond (as further described in the Code). The bond issuer must make an irrevocable election to (i) designate bonds as Qualified Tax Credit Bonds under the Code, and (ii) subject a Qualified Tax Credit Bond to the direct payment subsidy option under Section 6431(f) of the Code.

Since the interest on a Qualified Tax Credit Bond must be excludable from gross income under Section 103 of the Code (but for the irrevocable election of the issuer to designate the bond as a Qualified Tax Credit Bond), the Qualified Tax Credit Bond must satisfy all the requirements of the Code and applicable Treasury Regulations that are conditions to the issuance and maintenance of tax-exempt governmental bonds. Therefore, although Qualified Tax Credit Bonds are not tax-exempt bonds, for purposes of this Policy the Compliance Officer shall treat all Qualified Tax Credit Bonds as if such bonds were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of this Policy with respect to such Qualified Tax Credit Bonds.

In addition, to the extent that less than 100 percent of the Available Project Proceeds of a Qualified Tax Credit Bond are expended by the close of the three-year period beginning on the date of issuance of such Qualified Tax Credit Bond, or by the close of any extended period granted by the United States Secretary of the Treasury under Section 54A(d)(2)(B)(iii) of the Code, the Issuer must, as required by Section 54A(d)(2)(B)(i) of the Code, redeem all nonqualified bonds within 90 days after the end of the later of the initial three-year spending period or any extension of such period. The amount of nonqualified bonds to be redeemed shall be determined in the same manner as under Section 142 of the Code.

11. Qualified 501(c)(3) Bonds. If the Issuer issues bonds to finance a facility to be owned by the Issuer but which may be used, in whole or in substantial part, by a nongovernmental organization that is exempt from federal income taxation under Section 501(a) of the Code as a result of the application of Section 501(c)(3) of the Code, the Issuer may elect to issue the bonds as “qualified 501(c)(3) bonds,” the interest on which is exempt from federal income taxation under Sections 103 and 145 of the Code and applicable Treasury Regulations. Although such qualified 501(c)(3) bonds are not governmental bonds, at the election of the Compliance Officer and after consultation with Bond Counsel, for purposes of this Policy, the Compliance Officer shall treat such issue of qualified 501(c)(3) bonds as if such issue were an issue of tax-exempt governmental bonds and shall carry out and comply with the requirements of this Policy with respect to such qualified 501(c)(3) bonds.

This “Post-Issuance Compliance Procedure and Policy for Tax-Exempt Governmental Bonds” is adopted by the City Council of the City of Bayport, Minnesota, this 6th day of July, 2015.

CITY OF BAYPORT, MINNESOTA

Susan St. Ores, Mayor

ATTEST:

Logan Martin, City Administrator



Bayport Fire Department

294 N. 3rd Street • Bayport, MN. 55003 • Hall (651) 275-4401 • Fax (651) 275-4402

July Memo from the Chief:

Department training in June focused on drafting water from a holding tank or large body of water, since there is a substantial portion of our service area without hydrants and we need to shuttle water to the scene. Firefighters practiced vehicle placement, water supply fill station and proper pumping techniques. We had the majority of our pumps tested on the trucks and all looks good.

The Fire Chief's position is an elected position every 3 years. My term is up in August, so the members of the department will hold an election at the first meeting in July. I will be running for a second term, and Assistant Chief Allen Eisinger and Captain Jacob Eisinger have also decided to run for the position. The winner of the election will be brought to the City Council in August for approval.

The new fire station is taking shape and all is going well. We continue to keep our contract cities informed of the progress.

With summer underway, this month's safety reminder is on grilling fire safety. The following tips will help everyone have a safe summer:

- Only use your grill outside and keep it away from siding and deck rails
- Keep a 3-foot "safe zone" around your grill and campfire
- Clean your grill after each use to remove grease that can start a fire
- Open your gas grill before lighting
- Place used coals from a charcoal grill in a metal can with a lid after they have cooled
- NEVER leave a grill, fire pit, or patio torches unattended

Thanks,
Mark

Mark Swenson
Fire Chief
Bayport Fire Department
294 North 3rd St.
Bayport, MN 55003
Office: 651-275-4401 Fax: 651-275-4402 Mobile: 651-300-2101
E-Mail: Mark.Swenson@BayportFire.org



Bayport Police Department
294 North 3rd Street
Bayport, Minnesota 55003
Phone: 651-275-4400
Fax: 651-275-4411/

Laura Eastman
Chief of Police

Date: June 25, 2015
To: Mayor and City Council
City Administrator Martin
From: Police Chief Laura Eastman
Subject: **Police Reports and Updates**

Past Events

May 29, 2015: Andersen Elementary, 3 student tours of Police Department with meet and greet with Chief Eastman, Sergeant Jackson and Keylo
June 10, 2015: Ice Cream Social at Lakeside Park, Reserve Officers
June 19-20, 2015: Rock'in Ribs at Lakeside Park, Reserve Officers and Officer on Duty
June 27, 2015: Dane's Place Fundraiser at Village Green Park, Reserve Officers, Sergeant Jackson and Keylo

Upcoming Events

July 11-12, 2015: Bass fishing tournament at Lakeside Park, Reserve Officer to direct parking
July 25, 2015: Run Stillwater foot races, beginning/ending at Lakeside Park, Police and Reserve Officers to direct traffic

May Call Load (continued)

26 – 31: Medical L1, Driving after suspension, domestic 3rd party, school crossing, road rage, truck parking complaint, welcome packet, extra patrols inspiration, train whistle complaint, lakeside park close, abandoned car, request for property, crosswalk, noise complaint/train whistle, park close, extra patrols, crime prevention x 5 open doors, minor consumption, petitioner of reports, parking complaint, medical L1, duress alarm, aoa/narcotic warrant, park close, animal concern, domestic, unwanted parties, ordinance violation, school crossing x 2, vehicle lockout, burglar alarm, ordinance violation, K9 meet and greet & PD tour x 3, unknown situation/medical, paybox collection x 6, violation of provisional license, lakeside park close, speed 59/40, ordinance violation, driving complaint, 4th degree dui, aoa/gun pointing incident, audial alarm, missing cat, park permits, shots fired, vandalism report, beach house assist, trespass violation, ordinance violation, city ord. complaints, violation, commercial truck parking complaint, parking complaint, city ordinance unregistered vehicle, vandalism/trespassing on school property, open.

June Call Load

01 – Speed 73/55, w/w equipment violation, lakeside park close, dead deer, crosswalks, terroristic threats, lock out, medical L1, park close, suicidal female.
02 – Crime prevention x 8, crosswalks, peddlers license, speed 62/40, missing juvenile, noise complaint, missing juvenile, park close, property damage.
03 – Crime prevention x 3, extra patrols, fire, school crossing, NSF/bounced check, school crossing, parking questions, community contact, park permits, vacation checks, AOA/possible domestic, lake side park close.
04 – DAS, no insurance, train whistle complaint x 2, medical L1, school crossing, suspicion, medical L3, vehicle for sale on city street, parking questions, lockout, found wallet, extra patrol, animal concern, new resident packet, park shelter permits, DAS, w/w stop sign violation, w/w speed, 3rd degree dui.
05 – Speed 64/40, train whistle x 2, disabled vehicle, public assist, suspicious male, medical suicidal male, driving complaint, assist.

- 06 – Park close, medical L1, found dog, lost dog, parking complaint, civil assist, alarm, park close shelter parking permits out, public assist. .
- 07 – Crime prevention x 3, traffic hazard, unwanted male, extra patrols, alarm, parking complaint, w/w speed, park close.
- 08 – Crime prevention x 2, extra patrol, missing leather coat, information on DK boaters, assist city hall. Medical L1, AOA/death notification, lock out, NPOI, AOA/alarm.
- 09 – Lakeside park close, medical L1, K9-Demo, boat trailer pay box collection, domestic, motorist assist/blocking, motorist assist flat tire, vehicle for sale on the street x2, check welfare, seatbelt, suspicious male, lakeside park close, reckless driving.
- 10 – Officer assist planning packets, AOA/boat accident, medical L1, park close, medical L1.
- 11 – crime prevention/garage door open, w/w speed, lock out, damage to property, civil issue, assist city hall, speed 71/55, suspicious male, w/w speed, park close.
- 12 – noise complaint, paybox collection, Prison ESCAPE, medical L1, road closure, alarm, public assist, notification service, extra patrol, property damage report, residence check, medical L1, w/w speed, lakeside park close, harassment.
- 13 – Assist parking concern, trespass/theft report, w/w pass on shoulder, suspicious male, civil issue, possible mental health concern/officer safety, found dog, stolen vehicle/MJ in motor vehicle, lakeside park close.
- 14 – 4th degree DUI, AOA/verbal domestic, vehicle lockout, fight, audible alarm, missing person report.
- 15 – Crime prevention x 4, audible alarm, extra patrols.
- 16 – Crime prevention x 2, speed 54/40, speed 63/40, speed 67/40, speed 56/40, officer assist city hall walk thru, park close. .
- 17 – crime prevention x 2, property issue, AOA/domestic, medical L1, OFC information, vehicle lock out, lift assist.
- 18 – Officer assist city hall, park close, assist city hall, w /w speed x2, 911 hang up, trespassing on trains, w/w unsafe passing, ofc information, trespassing, public assist, park close.
- 19 – Fire alarm, w/w headlight, suspicious male, park close.
- 20 – Crime preventions x2 garage door, found bike, assist PW/open beach house, civil issue/property retrieval, welfare concern, vehicle lockout, threats report.
- 21 – Park close, informational, found dog, dispute, medical L1, park close.
- 22 – Crime prevention x 4, noise complaint, found property, trespass concern, boat trailer parking concern, assist MWPD/welfare check, noise complaint.
- 23 – Lake side Park close, city ordinance complaint, AOA/boater stranded, parking complaint, warrant attempt, lockout, pay box collection, domestic, juvenile complaint.
- 24 – AOA/domestic, AOA/check address, w/w unsafe passing, train blocking, officer assist with removing snake x 2, compliance tobacco check /pass, handgun permit to purchase, assist AOA/DOC, park close, w/w equipment, w/w stop sign, duress alarm.
- 25 - 31 NA

Acronym/code: W/W = Written warning, LOCK OUT = vehicle keys locked in car, DAR = Driving after revocation, DAS= Driving after suspension, NPI/ NO POI = No proof of insurance, DOC = Disorderly conduct, CSC = Criminal Sexual Conduct, NO MN/DL = No Minnesota driver's license, Medical Level = 1 (most severe) 2 (moderate) 3 (mild), Rec'vd OFP/DANCO = Received a fax for an order for protection (OFP) domestic abuse, no contact order (danco) for person in our city, Felony Intro. Of Narc. = Felony level of introduction of narcotics into the prison, uac = underage drinking, 10 -72 = deceased.

May-15	Speed	Seatbelt	Child seat	DAS,R,C	Underage D&D	UAC	Open Bottle	No Insurance	No POI	Warrants	WW
501 Chief Eastman	3										5
503 Aaron Slinger											
505 Quinn Willmarth				2				1			3
506 Chad Johnson	2			2					1		2
507 Dustin Purpur											
508 Capt Hutchinson											
509 Jay Jackson	2	10		1					2		
510 John Miller	4	6		4					1		10
512 Zach Lund											1
513 Keith Frank	3					1					2
524 Riley Cameron											
Monthly Total	14	16	0	9	0	1	0	1	4	0	23
Year Total	69	16	0	39	0	1	0	3	20	3	177
Officer	Drugs	MJ in MV	Dac-IPS	Stop Sign	Drug Para	DWI	Distracted	Crime Prev	City Ord	Careless	Other
501 Chief Eastman											
503 Aaron Slinger											
505 Quinn Willmarth								27			
506 Chad Johnson									1		
507 Dustin Purpur											
508 Capt Hutchinson											
509 Jay Jackson		1			1				14		
510 John Miller		1		1	1	3			2		1
512 Zach Lund									2		1
513 Keith Frank											1
524 Riley Cameron									11		
Monthly Total	0	2	0	1	2	4	0	27	30	0	3
Year Total	1	3	0	1	7	13	0	68	71	3	15

Notes :



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 30, 2015

To: Mayor and City Council
Logan Martin, City Administrator

From: Mel Horak, Public Works Supervisor

Re: **Public Works Department Update – July City Council meeting**

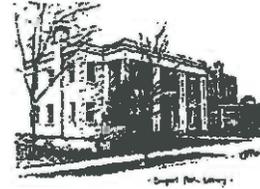
During the month of June, the full-time Public Works staff, with assistance from part-time staff, completed the following tasks:

1. Cleaned Lakeside Park facilities on a daily basis
2. Read water meters for second quarter utility billing
3. Moved the city boarding dock
4. Mowed and trimmed grass on numerous city properties
5. Planted numerous bare root trees in Lakeside and Barker's Alps Parks
6. Performed bituminous street patching at various locations in the city
7. Graveled and graded alleys and other dirt roads
8. Provided assistance for the Fire hall and 1st Avenue South sewer projects
9. Provided assistance for various city functions, such as Rockin' Ribs Festival, Dane's Place Pig Roast and Farmer's Market
10. Completed ongoing maintenance and repairs to trucks and equipment
11. Installed multiple new water meters and repaired numerous nonfunctioning water meters
12. Performed ongoing operation of water and sewer systems, which includes daily inspections of facilities, water tests, water reports, and attending to system malfunctions

PUBLIC WORKS MESSAGE OF THE MONTH

High water consumption bills during the summer months are most likely related to irrigation system use.

Bayport Public Library



582 NORTH FOURTH STREET
BAYPORT, MINNESOTA 55003
(651) 275-4416

Date: June 29, 2015

To: Mayor and City Council; Logan Martin, City Administrator

From: Mark Blando, Bayport Public Library Director

Re: Bayport Library Update

We have had our big kick off to the Summer Reading Program in June. Attendance has been outstanding to all of our programs this month and kids have been busy reading to win prizes in our end of summer drawings. July will also be a busy month for programming. Here is the schedule:

Super Summer Events!

Treasure Beyond Measure-Friday, July 17, 1:00pm at Bayport Public Library

Mad Science-Thursday, July 30, 1:00pm at Bayport Public Library

Family Movie Time!

Annie (Rated PG 118min) Thursday, July 9, 1:00pm

On a more personal note, I will be leaving the Bayport Public Library this month. My last day will be July 20th. I want to thank the Mayor and City Council for all of their support toward the library. I know that support will continue with the new director. It has been my pleasure to serve the patrons of the Bayport Public Library.

Thanks to you all,

A handwritten signature in black ink, appearing to read "Mark Blando".

Mark Blando



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: June 24, 2015

To: Mayor and City Council
Logan Martin, City Administrator

From: Sara Taylor, Assistant City Administrator/Planner

Re: **Department Update – July City Council meeting**

PLANNING COMMISSION

The Planning Commission held a meeting on June 15 to consider the final plat application for Phase III-B of Inspiration. Unfortunately, due to work conflicts, a quorum of the Planning Commission was not present at the meeting, so a formal recommendation could not be provided to the City Council. However, the two commissioners at the meeting confirmed their support for the application and the other two commissioners expressed written support of the application following the Planning Commission meeting. No public comment was received regarding the final plat application. The City Council will consider the final plat at the July 6 meeting.

Planning Commissioner Jeff Richtman also submitted his resignation as of September 1, 2015 due to a job relocation. This resignation will leave two vacant seats on the Planning Commission. Staff will be soliciting applicants for the vacancies within the next few weeks. A recommendation for appointment(s) will most likely be presented to the City Council for consideration in the next few months.

BAYPORT IN BLOOM GARDEN CONTEST

The second annual “Bayport in Bloom” front entry garden contest is quickly approaching! The goal of the contest is to encourage property owners and residents to showcase the curb appeal and landscape of their home or business. Staff has been working with the Master Gardeners of Washington County to promote the contest via the city’s newsletter, website, email notices, and bulletin boards. The City Council is encouraged to nominate property owners for consideration. The nomination deadline is July 14 and judging will take place July 18-19.

CITY INFORMATIONAL BROCHURES

We recently completed some new brochures and door hangers to help educate property owners on various city ordinances, in a friendly and easy to understand format. Last year, staff found the brochures that listed regulations for landscaping, winter sidewalk maintenance, noise, recreational fires, and pets to be an effective and informal tool to achieve compliance with city ordinances. This year’s new door hangers and brochures focus on regulations for dumpster/bulk storage permits, on-street parking, posting address numbers on buildings, and storing recycling/refuse containers. We hope these will continue to be an effective tool for city staff to communicate with residents and improve the safety and appearance of our neighborhoods.

FOCUS ON BAYPORT PHOTO CONTEST

We are now accepting entries for the fourth annual “Focus on Bayport” Photo Contest through October 15. Open to city residents of all ages, the intent of the contest is to showcase appealing photos that represent and celebrate the beauty, character, and spirit of our city. To increase participation, I will be working with various community education and youth groups to promote the contest, as well as soliciting prize donations for contest winners. Specific contest details and the entry form can be found at City Hall, Library, and city website.



CITY OF BAYPORT
294 NORTH THIRD STREET
BAYPORT, MINNESOTA 55003
PHONE 651-275-4404 FAX 651-275-4411

Date: July 30, 2015
To: Honorable Mayor and City Council
From: Logan Martin, City Administrator
Re: **Administration Department Update – July City Council meeting**

FIRE HALL UPDATE

The construction team continues to make good progress on both the new Fire Hall and the utility extension / roadway upgrade project along 5th Avenue. Despite some rainy days, footings for the building are complete and foundation walls have begun being poured in some areas. The perimeter security fencing required by the prison has been installed, which provides additional ease of construction by making site access much simpler since the property is now separated from the prison. Utility extension work in 5th Avenue is nearly complete, as roadway patching and installation of required right-in turn lanes are being installed and should be finished in the coming weeks.

2016 BUDGET

Preparation for the 2016 Budget is currently underway, with department heads finalizing their budget requests within the next week. Per previous Council direction, staff's initial intent is to keep the budget as flat as possible, with requests for increases directly tied to areas of service improvement. We intend to hold an initial budget workshop and discussion prior to the August 3 City Council meeting.

WATER TREATMENT SYSTEM UPGRADE

As previously mentioned, the TCE water treatment upgrade project was considered throughout the 2015 Session by the State Legislature. The project, which includes connecting Well #3 to the water treatment system near Inspiration, was eliminated from funding during the regular Session. However, we were pleased to learn that the project was reconsidered in a larger bill during the Special Session, and was ultimately approved for full funding from the State! Design work on the pipe layout and improvements is nearly complete, and construction could still begin on this project this fall. Thanks to Representative Kathy Lohmer and Senator Karin Housley for their leadership at the State on this important project. More updates will be provided as the project scope and timeline is solidified.

UPCOMING MEETINGS AND EVENTS

July 6	City Council workshop	5pm	City Hall
July 6	City Council meeting	6pm	City Hall
July 14	Bayport in Bloom (nominations due)		Citywide
August 3	City Council budget workshop	5pm	City Hall
August 3	City Council meeting	6pm	City Hall
August 3-4	Safety Camp	8:30am – 3pm	Lakeside Park
August 4	Night to Unite	5pm	Lakeside Park
August 17	Planning Commission (tentative)	6pm	City Hall